# LOCUS BARTLETT ST. CEDAR FILL 57.

**LOCUS MAP** 

APPLICANT:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803
781.272.7000

CIVIL ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT:
ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
781.935.6889

#### **ARCHITECT:**

RKB ARCHITECTS, INC.
0 CAMPANELLI DRIVE
BRAINTREE, MA 02184
781.848.6600

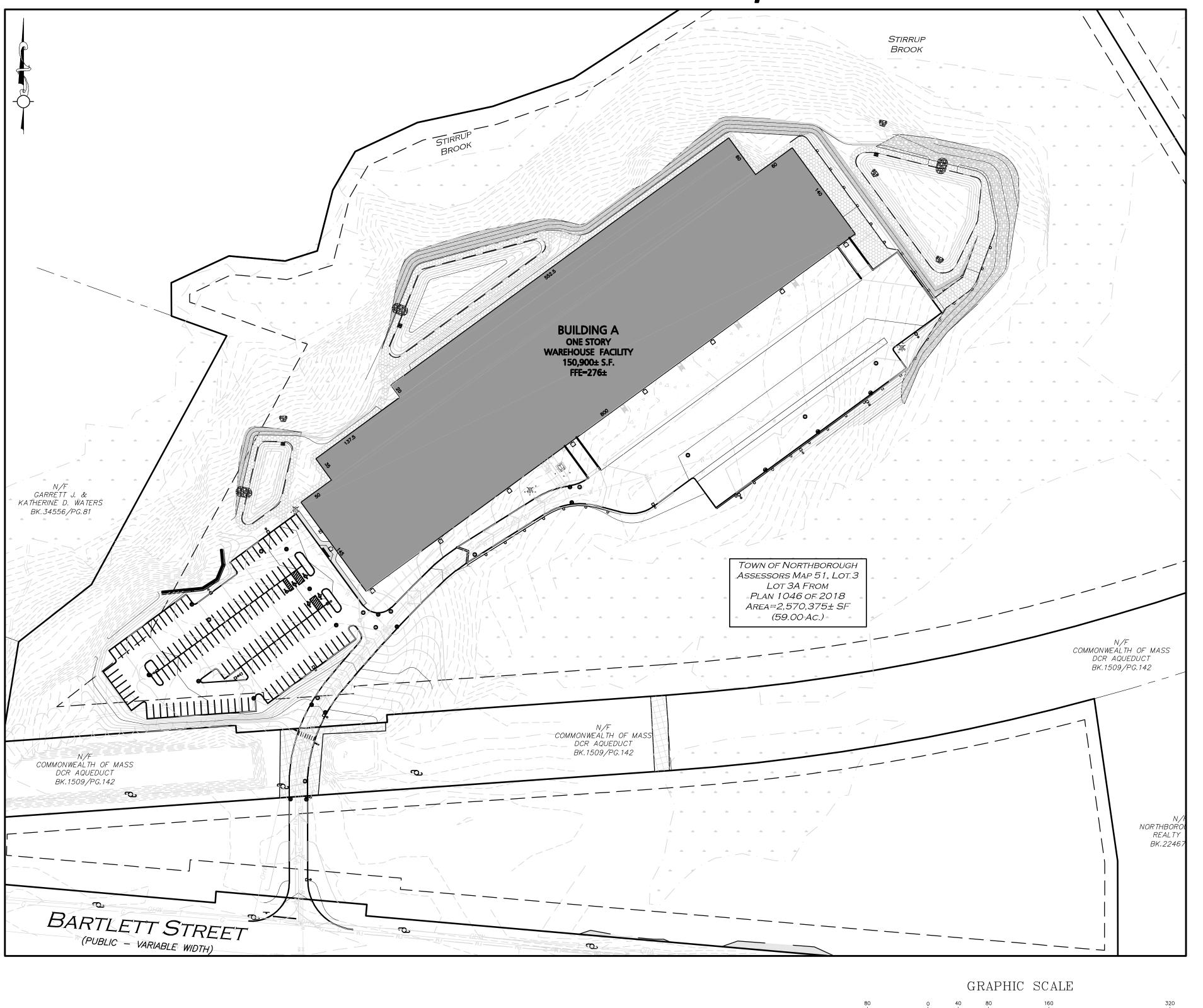
WETLAND SCIENTIST:
GODDARD CONSULTING, LLC
291 MAIN STREET, SUITE 8
NORTHBOROUGH, MA 01532
508.393.3784

# SITE DEVELOPMENT PLANS FOR PARCEL H DEVELOPMENT

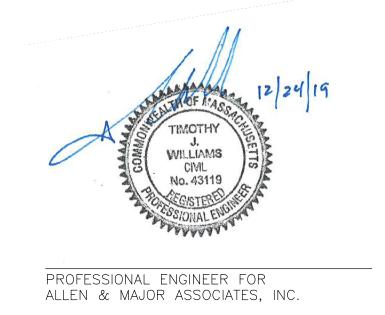
# BARTLETT STREET

MAP 51 LOT 3 & MAP 66 LOT 16

NORTHBOROUGH, MA



LIST OF DRAWINGS					
DRAWING TITLE	SHEET NO.	ISSUED	REVISED		
CIVIL, SURVEY AND LANDSCAPE DRAWINGS					
COVER SHEET		12/24/2019	-		
ABBREVIATIONS & NOTES	C-001	12/24/2019	-		
ABBREVIATIONS & NOTES	C-002	12/24/2019	•		
EXISTING CONDITIONS	V-101	12/24/2019	-		
RESOURCE AREAS PLAN	C-100A	12/24/2019	-		
RESOURCE AREAS PLAN	C-100B	12/24/2019	-		
EROSION CONTROL & SITE PREPARATION PLAN	C-101	12/24/2019	-		
LAYOUT & MATERIALS PLAN	C-102A	12/24/2019	•		
LAYOUT & MATERIALS PLAN	C-102B	12/24/2019	•		
GRADING & DRAINAGE PLAN	C-103	12/24/2019	-		
UTILITIES PLAN	C-104A	12/24/2019	-		
UTILITIES PLAN	C-104B	12/24/2019	-		
PHOTOMETRICS PLAN	C-105	12/24/2019	•		
FIRE TRUCK TURNING PLAN	C-106	12/24/2019	-		
CIVIL DETAILS	C-501	12/24/2019	-		
CIVIL DETAILS	C-502	12/24/2019	•		
CIVIL DETAILS	C-503	12/24/2019	-		
CIVIL DETAILS	C-504	12/24/2019	-		
LANDSCAPE PLAN	L-101	12/24/2019	-		
LANDSCAPE DETAILS	L-102	12/24/2019	•		
ARCHITECTURA	L PLANS				
WAREHOUSE BUILDING RENDERING	DS 3.00	12/09/2019	-		
SCHEMATIC FLOOR PLAN	DS 2.01	11/11/2019	•		
SCHEMATIC ELEVATIONS	DS 2.02	11/11/2019	-		





WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

Copyright © 2019 Allen & Major Associates, Inc.

All Rights Reserved

ISSUED FOR LOCAL APPROVAL: DECEMBER 24, 2019

1 inch = 80 ft.

SCALE 1"=40'.

- 2. ZONING DISTRICT IS INDUSTRIAL (I).
- 3. OVERALL LOT SIZE: 66.08± ACRES, INCLUDING TOWN OF NORTHBOROUGH ASSESSORS
- MAP 51, LOT 3 (59.00± ACRES) AND MAP 66 PARCEL 16 (7.08± ACRES). 4. DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
- 5. DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER. NATURAL GAS. TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- ALL MAIN BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AAB REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- 10. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- 11. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION, ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- 12. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING THE WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES. THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- 14. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE
- 16. ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 17. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.

OF THE CONTRACTOR AT NO ADDITIONAL COST.

- 18. ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND
- INDICATE EDGE OF PAVEMENT. 19. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY
- 20. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT
- LIMITED TO DEMOLITION. 21. DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF
- OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST. 22. ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX
- INCHES (6") MINIMUM OF TOPSOIL AND SEED, AND BE MAINTAINED UNTIL ESTABLISHED &
- 23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTHBOROUGH'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- 25. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- 26. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAKING.
- 27. EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION AND DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- 28. EXISTING AND PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.
- 29. CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- 30. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS. PERMITS FROM THE PLANNING BOARD OR TOWN COUNCIL, AND AN ORDER OF CONDITIONS FROM THE NORTHBOROUGH CONSERVATION COMMISSION.
- 31. IT IS THE CONTRACTORS RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR HAZARDOUS MATERIALS ONSITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 32. DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DOES NOT MEET THE ORDINARY FILL SPECIFICATIONS OR LOAM SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS. AND MISC. MATERIAL, PRIOR TO REUSE. CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 33. ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE DIRECTOR OF INSPECTIONAL SERVICES AND/OR THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS AND TOWN COUNCIL. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE TOWN OF NORTHBOROUGH ZONING CODE.

### DIG SAFE BEFORE YOU DIG CALL 811 OR 1-888-DIG-SAFE

#### **GRADING & DRAINAGE NOTES:**

SILT AND DEBRIS.

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- 2. THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, COMPACTOR PAD, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- 3. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- 4. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALI MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
- TEMPORARY STRAW BALE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT
- SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING
- REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN. ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED OUT PRIOR TO FINAL APPROVAL TO REMOVE ALL CONSTRUCTION
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- 10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- 11. ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING FRAME AND COVER AND SHALL BE LABELED "DRAIN"
- 12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- 13. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE AND CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- 15. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.

#### **UTILITY NOTES:**

- THE LATEST STANDARDS OF THE TOWN OF NORTHBOROUGH STANDARDS AND REQUIREMENTS SHALL BE FOLLOWED AS APPLICABLE WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF NORTHBOROUGH PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE TOWN OF NORTHBOROUGH SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK, AS APPLICABLE. WATER LINE WORK WILL BE INSPECTED BY TOWN OF NORTHBOROUGH PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN OF NORTHBOROUGH, AS APPLICABLE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL & PLUMBING DRAWINGS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- 4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY EXISTING UTILITIES 4 INCHES OR LARGER ARE TO BE ABANDONED IN PLACE WHERE FINAL GRADES MAINTAIN AT LEAST 4 FEET OF COVER TO CROWN OF PIPE TO BE ABANDONED. ALL UTILITIES WITH LESS THAN 4 FEET OF COVER TO FINAL GRADE SHALL BE REMOVED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITATES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- 6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- 7. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
- SEWER PVC (POLYVINYL CHLORIDE), SDR 35 - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH
- INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN) - RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON
- C.L.D.I. (CEMENT LINED DUCTILE IRON) (CLASS 52)
- 8. REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES TO BE REMOVED AND UTILITY ABANDONMENT.
- BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF NORTHBOROUGH THE APPROPRIATE PERMIT AND INSPECTION FEES.
- 10. ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- 11. ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED
- 12. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS
- 13. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF

THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.

PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN

SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN

- 14. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- 15. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.

PROPOSED UTILITIES.

- 16. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.
- 17. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS
- 18. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- 19. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER. SEWER. GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- 20. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

- 21. ALL HYDRANTS SHALL MEET LOCAL MUNICIPAL SPECIFICATION REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF NORTHBOROUGH REQUIREMENTS, AS APPLICABLE.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS IN ACCORDANCE WITH THE TOWN OF NORTHBOROUGH STANDARDS AND REQUIREMENTS, AS APPLICABLE.
- 23. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NORTHBOROUGH REQUIREMENTS. AS APPLICABLE.
- 24. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
- 25. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- 26. SEWER PIPE BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.
- 27. DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

#### **EROSION & SEDIMENTATION CONTROL NOTES:**

- EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2008 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE TOWN ENGINEER, AS APPLICABLE.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS THE TOWN HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND, MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS, IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- 4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED. AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- ADJACENT ROADS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA AS OFTEN AS NECESSARY (WHICH COULD BE ON A DAILY BASIS) TO REMOVE ANY SOIL OR SEDIMENTS AT NO ADDITIONAL COST TO THE OWNER, A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. BOTH EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE SILT SACKS AND OR STRAW BALE BARRIERS AROUND EACH INLET AS NOTED ON THE PLANS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- 8. AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
- 9. AT A MINIMUM, ALL STRAW BALES, SILT FENCE AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS OR PLANTINGS HAVE BECOME 85-90% ESTABLISHED. THE TOWN OF NORTHBOROUGH CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE STRAW BALES AND FILTER FABRIC. ONCE THE STRAWBALES AND SILT FENCE IS REMOVED THE AREAS ARE TO BE LOAM AND SEEDED TO ACHIEVE FULL STABILIZATION.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP. THE ENGINEER AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTORS FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE
- 13. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- 14. CONTRACTOR AND ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH AND FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE, INCLUDING THE ORDER OF CONDITIONS FROM THE NORTHBOROUGH CONSERVATION COMMISSION. ALL CONDITIONS AND RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.
- 15. ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE TOWN OF NORTHBOROUGH.
- 16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

17. TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES

- NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO
- EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS. 19. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY STRAW BALE FILTERS
- AND STONE CHECK DAMS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED. 20. STRAW BALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING AND PROPOSED CATCH BASINS. NO SEDIMENTATION SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE

SYSTEMS AT ANY TIME.

ESTABLISHED.

21. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH RAINFALL EVENT.

AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS

22. ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH

#### **EROSION & SEDIMENTATION CONTROL NOTES (CONTINUED):**

- 23. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL STRAW BALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- 24. AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA. THE NPDES PERMIT FOR STORM WATER DISCHARGE, & CONSTRUCTION GENERAL PERMIT NOI WILL BE REQUIRED TO BE SUBMITTED AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION BY THE CONTRACTOR.
- 25. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI. WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN OF NORTHBOROUGH, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.
- 26. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF NORTHBOROUGH, MASSDEP & EPA CONSTRUCTION GENERAL PERMIT STANDARDS, AS APPLICABLE. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE TOWN OF NORTHBOROUGH AND USDA SOIL CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.
- 27. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
- 28. IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION. ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURES CAPACITY TO SETTLE AND FILTER FLOW OR IS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
- 29. INITIATE STABILIZATION OF EXPOSED AREAS IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.
- 30. ALL DISCHARGES FROM POLLUTION SOURCES ARE PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, SOLVENTS, ADHESIVES, CURING COMPOUNDS, POLLUTANTS USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE IN ACCORDANCE WITH BOTH THE MANUFACTURER RECOMMENDATIONS, FEDERAL, STATE, AND LOCAL REQUIREMENTS. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM WETLANDS, SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT MEASURE OF ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.
- 31. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM. PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS. PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
- 32. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH
- 33. ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.
- 34. IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
- 35. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES, ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE. WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL, THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.
- 36. AS REQUIRED BY THE NORTHBOROUGH CONSERVATION COMMISSION, CONTRACTOR MUST PARK AND STORE ALL CONSTRUCTION EQUIPMENT OUTSIDE THE TOWN OF NORTHBOROUGH 150 FOOT WETLANDS BUFFER AT THE END OF EACH DAY. ITEMS TO BE ADDITIONALLY COMPLETED OUTSIDE OF THE TOWN OF NORTHBOROUGH 150 FOOT WETLANDS BUFFER INCLUDES FUEL STORAGE, REFUELING OPERATIONS, CLEANING OF EQUIPMENT (INCLUDING THE WASHING / RINSING OF CONCRETE TRANSPORTS)

#### **MAINTENANCE:**

WITH THE FOLLOWING:

- ALL MEASURES STATED ON THE STORMWATER POLLUTION PREVENTION PLANS, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION BY CONTRACTOR UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE
- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A HEALTHY STAND OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 3. ALL SEDIMENT CONTROLS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE TUBULAR SEDIMENT CONTROLS WHEN IT REACHES HALF THE HEIGHT OF THE CONTROL MEASURE OR AS REQUESTED BY THE OWNER OR ENGINEER.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE), THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN

OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY PRELIMINARY LIST OF PERMITS & WAIVERS

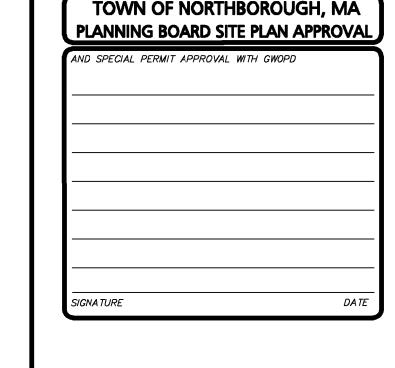
THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

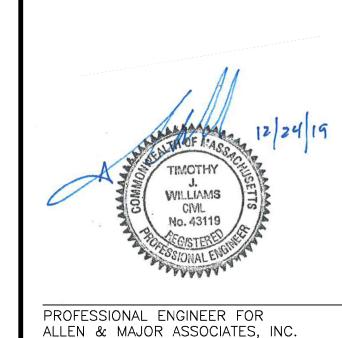
THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

**NORTHBOROUGH PERMITS:**  SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD) • ORDER OF CONDITIONS (NOI)

 EARTH REMOVAL PERMIT DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:





REV DATE DESCRIPTION APPLICANT\OWNER: THE GUTIERREZ COMPANY

**BURLINGTON, MA 01803** 

PARCEL H DEVELOPMENT BARTLETT STREET MAP 51 LOT 3 & MAP 66 LOT 16

200 SUMMIT DRIVE, SUITE 400

NORTHBOROUGH, MA 2019-12-2 N.T.S. | DWG. NAME: C-1145-0

DMR | CHECKED BY:



DESIGNED BY:

SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 VOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE

MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OF

OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL

C-00

INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC

MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND

civil & structural engineering ♦ land surveyin,

nvironmental consulting • landscape architectur

100 COMMERCE WAY

www.allenmajor.com

SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT. DRAWING TITLE:

Copyright ©2019 Allen & Major Associates, Inc. All Rights Reserved

ABBREVIATIONS & NOTES

1-888-344-7233

SOLID YELLOW CENTERLINE

TOP OF CURB TRENCH DRAIN TELEPHONE MANHOLE TOP OF SLOPE TOP OF WALL TEST PIT TYPICAL TYP UNDERDRAIN UTILITY POLE VITRIFIED CLAY PIPE VCP **VERT VERTICAL** VERTICAL GRANITE CURB WATER GATE WATER MAIN WM

#### CONSTRUCTION GENERAL PERMIT NOTES AND NARRATIVE:

NARRATIVE: THE STORMWATER POLLUTION PREVENTION PLANS CONSIST OF THE EROSION CONTROL PLANS TOGETHER WITH AN EXISTING CONDITIONS PLANS, GRADING PLANS, ABBREVIATIONS AND NOTES SHEETS, AND DETAIL SHEETS.

THE EROSION CONTROL PLAN WILL BE IMPLEMENTED TO:

WATER MANHOLE

WATER SHUTOFF

- A. TREAT EROSION AS SOON AS POSSIBLE AFTER DISTURBANCE.
- B. PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA AND ENTERING THE RECEIVING WATERS.
- C. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO MINIMIZE EROSION.
- D. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.

#### STORMWATER POLLUTION PREVENTION PLAN

#### 2.1 GENERAL

FOR GRADING AND DRAINAGE SEE DRAWING SHEETS C-104.

2.1.1. THE FIRST STAGE INVOLVES ACTIVITIES NEEDED TO ADDRESS STORMWATER MANAGEMENT: EXCAVATING MATERIAL DESIGNATED FOR OFF-SITE REMOVAL OR ON-SITE RELOCATION; AND FENCING SELECTED AREAS. STAGE ONE WILL PREPARE SITE FOR CONVENTIONAL CONSTRUCTION.

2.1.2. THE SECOND STAGE WILL CONSIST OF ROUTINE CONSTRUCTION INVOLVING DEMOLITION, PAVING, LANDSCAPING AND UTILITIES.

2.1.3. THERE ARE GENERAL PHASES OF CONSTRUCTION AS IDENTIFIED BELOW. IN EACH PHASE OF CONSTRUCTION, IMPLEMENT STANDARD EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO INITIATING EARTH DISTURBING ACTIVITIES, AND MAINTAIN THESE PRACTICES THROUGHOUT THE COURSE OF CONSTRUCTION.

TYPICAL PRACTICES TO BE APPLIED TO THE SITE INCLUDE THE FOLLOWING:

PRIOR TO DEMOLITION AND EARTH DISTURBANCE IN ANY WORK AREA, INSTALL SILTATION BARRIERS (BALES OR SILT FENCE WITH BALES) BETWEEN THE WORK AREA AND THE AREA(S) TO WHICH IT DRAINS.

DISCHARGE WATER FROM DEWATERING OPERATIONS TO A TEMPORARY SILTATION TRAP OR SEDIMENTATION BASIN.

PROVIDE TEMPORARY BERMS AND SWALES TO DIVERT SURFACE WATER AWAY FROM THE AREAS THAT WILL BE EXPOSED BY CONSTRUCTION ACTIVITY TO MINIMIZE THE AMOUNT OF SURFACE WATER COMING INTO CONTACT WITH EXPOSED SOILS. PROVIDE STABLE OUTLETS FOR THESE DEVICES, AND LINE OR VEGETATE THESE DIVERSIONS TO PROVIDE FOR DEVICES, AND LINE OR VEGETATE THESE DIVERSIONS TO PROVIDE FOR THEIR STABILITY DURING

LIMIT THE EXTENT OF EXPOSED SOILS TO AREAS THAT CAN BE WORKED AND RESTABILIZED WITHIN THE CONSTRUCTION SEASON AND DURING THE SPECIFIC CONSTRUCTION PHASE. WHEN EARTHWORK CONSTRUCTION ACTIVITY IN AN AREA IS COMPLETE, STABILIZE THE AREA WITH A SUITABLE SURFACE AS DESCRIBED BELOW.

IN ADDITION TO THESE PRACTICES, FOLLOW THE SPECIAL PRACTICES DESCRIBED BELOW. COMPLY WITH THE DIRECTIONS OF THE OWNER'S REPRESENTATIVE TO ADDRESS EROSION AND SEDIMENTATION CONDITIONS THAT MAY ARISE ON A CASE BY CASE BASIS DURING CONSTRUCTION.

THE FOLLOWING IS A DESCRIPTION OF MINIMUM CONSTRUCTION REQUIREMENTS AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES WITH REGARD TO DETERMINING THE ADEQUACY OF MEANS AND METHODS

#### 2.2 ESTIMATED CONSTRUCTION SEQUENCING.

THE FOLLOWING IS AN ESTIMATED CONSTRUCTION SEQUENCING. SOME ACTIVITIES MAY OCCUR AT THE SAME TIME RATHER THAN AT SEPARATE TIMES OR OUT OF SEQUENCE DUE TO ACTUAL FIELD CONDITIONS OR OTHER FACTORS. ACTUAL SCHEDULING WILL BE COMPLETED BY THE SITE CONTRACTOR

(CONTRACTOR TO FOLLOW ANY ADDITIONAL PERMIT REQUIREMENTS OR STEPS AT NO ADDITIONAL COST TO THE OWNERS FROM EITHER STATE OR LOCAL PERMITS, THIS INCLUDES BUT IS NOT LIMITED TO THE ORDER OF CONDITIONS FROM THE NORTHBOROUGH CONSERVATION COMMISSION)

- INSTALL ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO TEMPORARY STRAW BALE FILTERS, SILT SACKS, CONSTRUCTION ENTRANCES, AND STRAWBALES AND SILT FENCE.
- SETUP STAGING AND MATERIAL STORAGE / STOCKPILE AREAS.
- IF REQUIRED, CONSTRUCT TEMPORARY SILT / DEWATERING BASINS.
- PROTECT AND MARK ALL EXISTING ITEMS NOTED TO REMAIN.
- PERFORM DEMOLITION WORK. SURVEY AND IDENTIFY LIMITS OF SITE CLEARING. CONDUCT SITE
- PULVERIZE EXISTING PAVEMENT AND DEMO EXISTING MATERIALS AS NOTED.
- REMOVE EXISTING LOAM AND SUBSOIL AND STOCKPILE FOR REUSE.
- CONSTRUCT RETAINING WALLS AND EXCAVATE SURFACE BASINS FOR TEMPORARY SEDIMENT RUNOFF
- PERFORM ROUGH GRADING AND CONSTRUCT BUILDING FOUNDATIONS
- INSTALL UNDERGROUND UTILITIES.
- PERFORM FINE GRADING; PLACE BINDER PAVEMENT COURSE.
- PLACE PAVEMENT TOP COURSE; CONSTRUCT SIDEWALKS AND ALL OTHER SITE IMPROVEMENTS
- INSTALL PAVEMENT MARKING, SITE SIGNAGE & COMPLETE LANDSCAPING.
- REMOVE TEMPORARY SILT CONTROLS AFTER ONCE SITE IS STABILIZED GIVEN APPROVAL BY TOWN OF NORTHBOROUGH CONSERVATION COMMISSIONS.

#### OPERATION AND MAINTENANCE CONSTRUCTION ACTIVITIES:

- CONTACT THE TOWN OF NORTHBOROUGH CONSERVATION COMMISSION AGENT AT LEAST THREE (3) DAYS PRIOR TO START OF CONSTRUCTION, AS APPLICABLE
- 2. INSTALL STRAWBALES AND SILT FENCE AS SHOWN ON THE EROSION CONTROL PLAN. INSTALL CONSTRUCTION FENCING IF DETERMINED TO BE NECESSARY AT THE COMMENCEMENT OF CONSTRUCTION.
- 3. INSTALL THE CONSTRUCTION ENTRANCES AT THE LOCATIONS SHOWN ON THE EROSION CONTROL PLAN.
- 4. SITE ACCESS SHALL BE ACHIEVED ONLY FROM THE DESIGNATED CONSTRUCTION ENTRANCES
- STOCKPILES SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR TEMPORARY SEEDING WHENEVER PRACTICABLE, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- 6. INSTALL SILT SACKS AND STRAWBALES AROUND EACH DRAIN INLET AS SOON AS PRACTICABLE.
- 7. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT.
- 8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S ENGINEER, THE TOWN ENGINEER, OR THE TOWN CONSERVATION AGENT.
- 9. SEDIMENT ACCUMULATION UP-GRADIENT OF THE STRAWBALES AND SILT FENCE GREATER THAN 6" IN
- DEPTH SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 10. IF IT APPEARS THAT SEDIMENT IS EXITING THE SITE. SILT SACKS SHALL BE INSTALLED IN ALL CATCH
- BASINS ADJACENT TO THE SITE. SEDIMENT ACCUMULATION ON ALL ADJACENT CATCH BASIN INLETS SHALL BE REMOVED AND THE SILT SACK REPLACED IF TORN OR DAMAGED.
- 11. INSTALL STONE OR DIVERSION SWALE STRAW BALE CHECK DAMS ON SITE AS REQUIRED DURING CONSTRUCTION. REFER TO THE EROSION CONTROL DRAWING AND DETAIL SHEETS.
- 12. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL AND EROSION NOTES AS SHOWN ON THE SITE DEVELOPMENT PLANS AND SPECIFICATIONS.

13. THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSPECTED WEEKLY. THE ENTRANCES SHALL BE MAINTAINED BY ADDING ADDITIONAL CLEAN, ANGULAR, DURABLE STONE TO REMOVE THE SOIL FROM THE CONSTRUCTION VEHICLE TIRES WHEN EXITING THE SITE. IF SOIL IS STILL LEAVING THE SITE VIA THE CONSTRUCTION VEHICLE TIRES, ADJACENT ROADWAYS SHALL BE KEPT CLEAN BY STREET SWEEPING.

14. DUST POLLUTION SHALL BE CONTROLLED USING ON-SITE WATER TRUCKS AND OR AN APPROVED SOIL STABILIZATION PRODUCT.

15. CARE SHOULD BE TAKEN TO PREVENT DISCHARGE OF SEDIMENT TO ABUTTERS.

LESS THAN WEEKLY, AND CLEANED AS NEEDED TO RETAIN STORAGE CAPACITY.

#### 2.3 MAINTENANCE

2.3.1 DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED: SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATION ESTABLISHMENT. 2.3.2 TEMPORARY SEDIMENTATION BASINS WILL BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND NO

2.3.3 TEMPORARY DRAINAGE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY.

2.3.4 THE STRAWBALE AND SILTATION FENCING BARRIERS AND OTHER EROSION AND SEDIMENT CONTROL MEASURES/DEVICES SHALL BE INSPECTED, CLEANED, REPLACED AND/OR REPAIRED AS NECESSARY, AND NO LESS THAN WEEKLY, AND AFTER EACH SIGNIFICANT RAINFALL. ACCUMULATED SEDIMENTS SHALL BE REMOVED WHEN THEY REACH HALF THE HEIGHT OF THE BARRIER.

#### 2.4. GENERAL

2.4.1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS, FORMERLY SCS) GUIDELINES AND ALL LOCAL MUNICIPAL REGULATIONS.

2.4.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.

2.4.3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITEWORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITEWORK IS COMPLETE AND GROUNDCOVER IS ESTABLISHED.

2.4.4. ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS ISSUED BY THE LOCAL PLANNING BOARD, THEIR AGENTS, AND THE CONSTRUCTION SPECIFICATIONS.

2.4.5. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED BALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.

2.4.6. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.

IF APPLICABLE, EFFORTS SHALL BE MADE TO AVOID STOCKPILING CUT GLACIAL TILL SOILS SINCE STOCKPILING INCREASES EXPOSURE TO PRECIPITATION AND PROVIDES GREATER OPPORTUNITY  ${\sf FOR}$  FROST PENETRATION. SOME OF THE STEPS IN SEQUENCING MAY OCCUR SIMULTANEOUSLY PARTICULARLY CUT AND FILL OPERATIONS, IN AN EFFORT TO AVOID STOCKPILING. REFER TO THE GEOTECHNICAL REPORT PREPARED BY MCGARDLE GANNON ASSOCIATES, DATED JULY 2018 FOR MORE INFORMATION ON SITE-SPECIFIC SOIL PROCEDURES.

2.4.7. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA. SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK.

2.4.8. THE LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS ARE APPROXIMATE ONLY AND SHALL BE RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES.

2.4.9. BALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS LOCATED IN AREAS SUBJECT TO STORMWATER RUN-OFF FROM PROPOSED CONSTRUCTION, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. NO SEDIMENTS SHALL ENTER THE OFF-SITE DRAINAGE SYSTEMS AT ANY TIME SEDIMENT DISCHARGE TO OFF-SITE PROPERTY IS PROHIBITED.

2.4.10. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED FROM INCOMING SILT UNTIL ALL DISTURBED AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED.

2.4.11. ANY DEWATERING REQUIRED DURING CONSTRUCTING ON THE SITE SHALL DISCHARGE INTO A DEWATERING FILTER OR THE TEMPORARY SILT BASIN PRIOR TO DISCHARGE TO THE EXISTING DETENTION BASIN OR TO OFF-SITE.

2.4.12. BALES AND SILTATION FENCING AND TEMPORARY SILT BASIN SHALL BE INSPECTED NO LESS THAN WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL AND REPLACED AS REQUIRED.

2.4.13. ALL PROPOSED NON-RIPRAP SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION

2.4.14. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL BALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE OR THE MUNICIPAL AGENTS TO MITIGATE ANY EMERGENCY CONDITION.

CONTROL FABRIC AND PROTECTED FROM EROSION.

PERIMETER OF THE PROJECT AREA).

2.4.15. BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.

2.4.16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.

2.4.17. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.

2.4.18. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON- SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER

PROPERTY LINE. 2.4.19. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE

2.4.20. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

2.4.21. FOLLOWING THE ADDITION OF A BINDER COURSE, THE CONTRACTOR SHALL SWEEP ALL ON-SITE PAVEMENT, IF NECESSARY, UNTIL ALL SITE CONSTRUCTION IS COMPLETED.

PRELIMINARY LIST OF PERMITS & WAIVERS

WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE PROPOSED PROJECT IS A DISTRIBUTION

THE APPLICANT ANTICIPATES THE FOLLOWING

NORTHBOROUGH PERMITS: SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD) ORDER OF CONDITIONS (NOI)

 EARTH REMOVAL PERMIT DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:

PERMITS SHALL BE REQUIRED:





ALLEN & MAJOR ASSOCIATES, INC.

ı	DATE	DESCRIPTION
ı		

REV | DATE | DESCRIPTION APPLICANT\OWNER:

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16 NORTHBOROUGH, MA

1145-09 DATE: 2019-12-2 N.T.S. DWG. NAME: C-1145-0

DMR | CHECKED BY: DESIGNED BY:



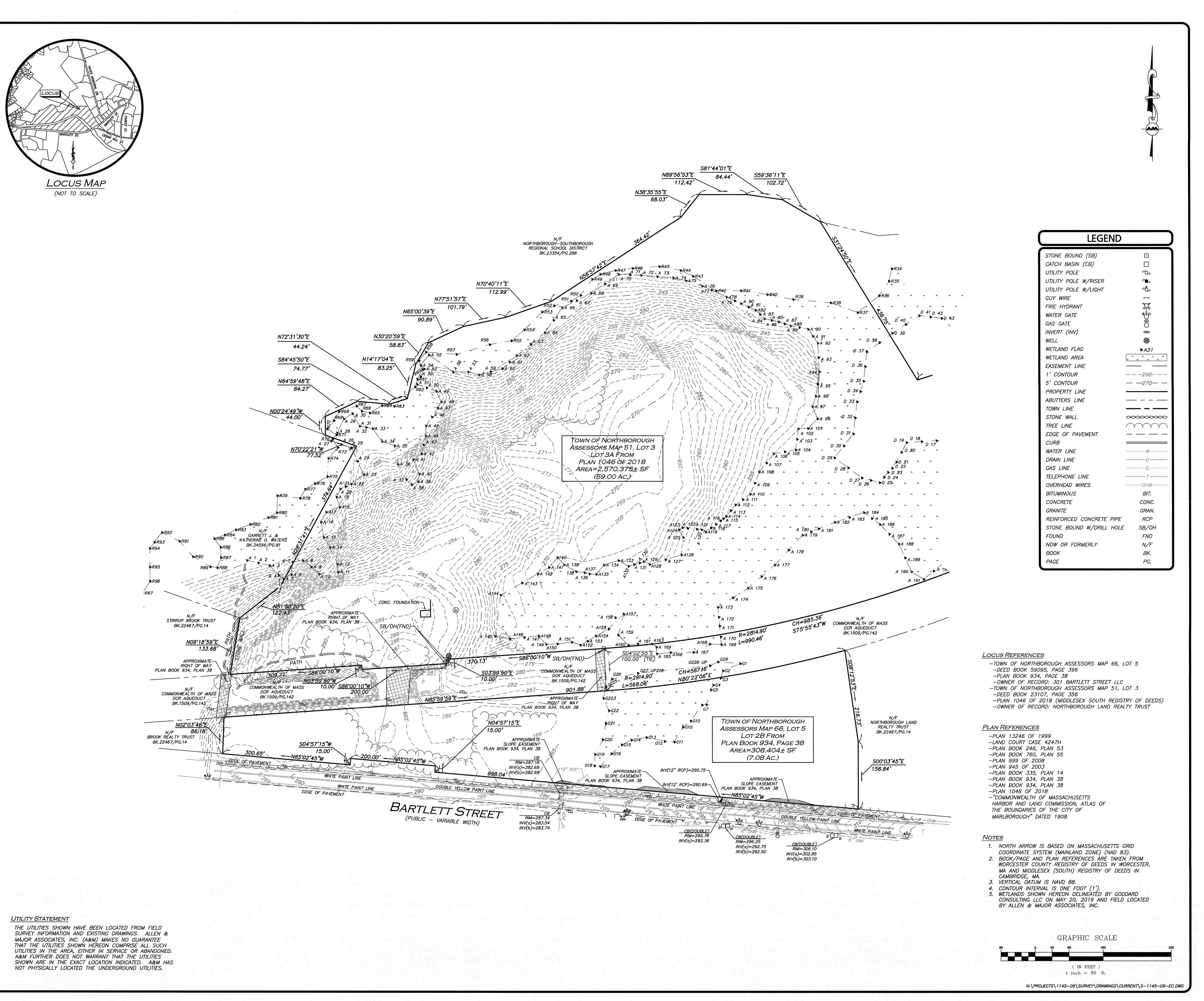
civil & structural engineering ♦ land surveyin environmental consulting♦ landscape architecture www.allenmajor.com 100 COMMERCE WAY

SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 VOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OF OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

**DRAWING TITLE:** ABBREVIATIONS & NOTES | C-002

ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.



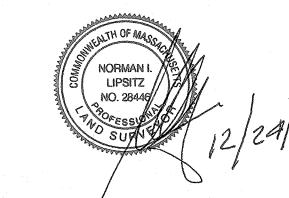
WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL O THE GROUND SURVEY PERFORMED ON OR BETWEEN JUNE 13, 2019 AND DECEMBER 16

OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF NORTHBOROUGH ASSESSOR'S INFORMATION. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

ALLEN & MAJOR ASSOCIATES, INC.



REV DATE DESCRIPTION APPLICANT\OWNER:

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 **BURLINGTON, MA 01803** 

PROJECT: **O BARTLETT STREET** 313 BARTLETT STREET PARCEL H DEVELOPMENT NORTHBOROUGH, MA

PROJECT NO.

KAC/COB CHECKED BY:



ALLEN & MAJOR ASSOCIATES, INC. civil engineering • land surveying

environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY **WOBURN MA 01801-8501** TEL: (781) 935-6889

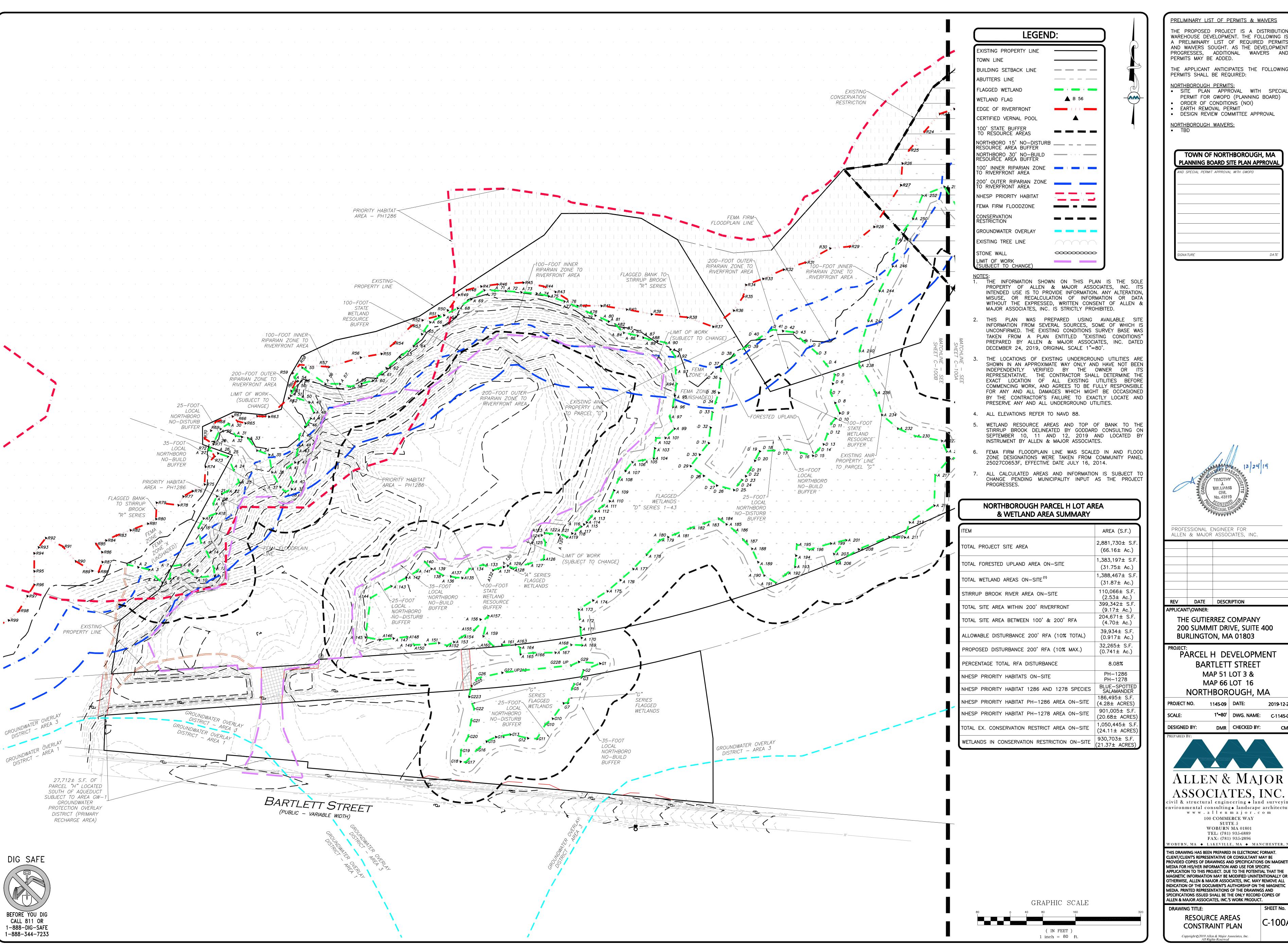
FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.

CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT. DRAWING TITLE:

V-101 **EXISTING CONDITIONS** 

SHEET No.

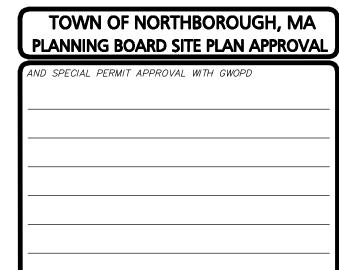


WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING

 SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD) • ORDER OF CONDITIONS (NOI)

 EARTH REMOVAL PERMIT ` DESIGN REVIEW COMMITTEE APPROVAL





PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT\OWNER:

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16 NORTHBOROUGH, MA

1"=80' DWG. NAME: C-1145-0 DMR | CHECKED BY:



ALLEN & MAJOR ASSOCIATES, INC.

civil & structural engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY

SUITE 5WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OF OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND

> **RESOURCE AREAS** CONSTRAINT PLAN

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

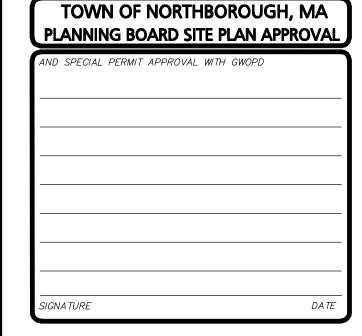
• SITE PLAN APPROVAL WITH SPECIAL

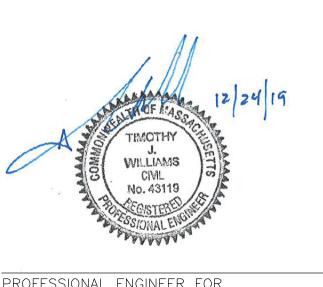
PERMIT FOR GWOPD (PLANNING BOARD) ORDER OF CONDITIONS (NOI)EARTH REMOVAL PERMIT

DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:

TBD





PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400

BURLINGTON, MA 01803 PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 &

MAP 66 LOT 16 NORTHBOROUGH, MA



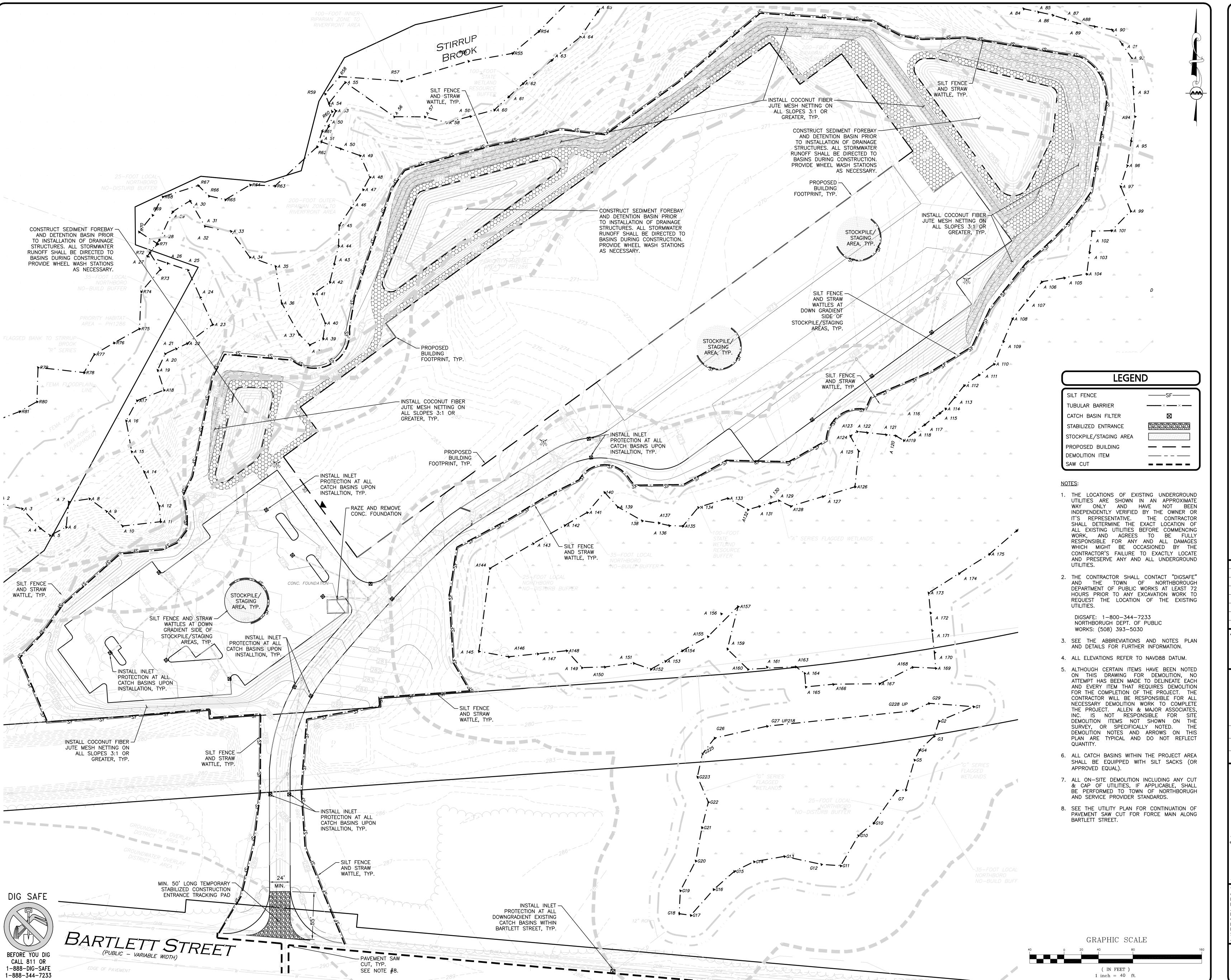
ASSOCIATES, INC. civil & structural engineering • land surveying

environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY SUITE 5WOBURN MA 01801

TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT. **RESOURCE AREAS** CONSTRAINT PLAN



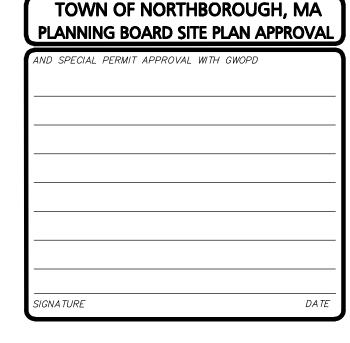
THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

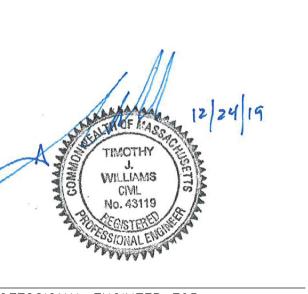
THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS: SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

 ORDER OF CONDITIONS (NOI) EARTH REMOVAL PERMIT ` DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:





PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT\OWNER: THE GUTIERREZ COMPANY

200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16 NORTHBOROUGH, MA

1"=40' DWG. NAME: C-1145-09 **DESIGNED BY:** 

DMR | CHECKED BY:



ASSOCIATES, INC. ivil & structural engineering ♦ land surveying environmental consulting • landscape architecture www.allenmajor.com

100 COMMERCE WAY SUITE 5WOBURN MA 01801

TEL: (781) 935-6889 FAX: (781) 935-2896 VOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.

CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OF OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

**DRAWING TITLE: EROSION CONTROL & SITE** PREPARATION PLAN

- EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 4. ALL ELEVATIONS REFER TO NAVD 88.
- TOWN OF NORTHBOROUGH TO COORDINATE TRAIL RELOCATION.

ITEN 4	BEOLUBED	EVICTING DARCEI	PROPOSED	
ITEM	REQUIRED	EXISTING PARCEL	BUILDING A LOT	
LOT AREA (MIN.)	60,000 S.F.	2,570,375± S.F. 59.00± ACRES	2,570,375± S.F. 59.00± ACRES	
LOT FRONTAGE (MIN.)	150 FEET	427.82 <sup>(1)</sup>	427.82 <sup>(1)</sup>	
LOT WIDTH (MIN.) (3)	NONE	N/A <sup>(2)</sup>	462.2± FEET	
FRONT SETBACK (MAX.) (4)	NONE	N/A <sup>(2)</sup>	166.0± FEET	
FRONT YARD SETBACK (MIN.)	40 FEET	N/A <sup>(2)</sup>	166.0± FEET	
SIDE YARD SETBACK (MIN.)(5)	20 FEET	N/A <sup>(2)</sup>	181.9'± (WEST) 427.7'± (EAST)	
REAR YARD SETBACK (MIN.)	25 FEET	N/A <sup>(2)</sup>	178.9± FEET	
LOT COVERAGE (MAX.)	50%	N/A <sup>(2)</sup>	5.87 <b>%</b> ±	
FLOOR AREA RATIO (F.A.R.) (MAX.)	0.80	N/A <sup>(2)</sup>	0.0587±	
OPEN SPACE (MIN.)(6)	25%	100%	60.6%± <sup>(6)</sup>	
BUILDING HEIGHT (MAX.)(7)	60 FEET	N/A <sup>(2)</sup>	<60 FEET <sup>(8)</sup>	

AS REQUIRED IN THE TABLE OF DENSITY AND DIMENSIONAL REGULATIONS SHALL BE FRESHWATER WETLANDS, AS DEFINED IN THE M.G.L. C.131, § 40."

(7)PER 7-06-030(G.)(1) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "IN THE INDUSTRIAL DISTRICT, BUILDING HEIGHT MAY BE INCREASED TO EIGHTY (80) FEET BY SPECIAL PERMIT FROM THE PLANNING BOARD, PROVIDED THAT FOR EVERY FOOT OF HEIGHT IN EXCESS OF SIXTY (60) FEET, THERE SHALL BE ADDED TO EACH YARD REQUIREMENT TWO (2) CORRESPONDING FEET OF WIDTH OR DEPTH."

(8) EXACT BUILDING HEIGHT TO BE DETERMINED DURING PERMITTING PROCESS. BUILDING HEIGHT TO BE LESS THAN 60 FEET.

OFF-STREET PARKING SUMMARY TABLE - BUILDING A - MAP 51, LOT 3A						
USE: WHOLESALE WAREHOUSE, TRUCK FREIGHT TERMINAL OR STORAGE WAREHOUSE:						
MINIMUM 1 SPACE PER 1,500 SQ. FT. GROSS FLOOR AREA; MAXIMUM 1 SPACE PER 1,000 SQ. FT. GROSS FLOOR AREA.						
150,900± S.	F. TOTAL BU	JILDING GROSS	FLOOR AREA			
TOTAL SPACE	S REQUIRED	) = 101 MIN.	AND 150 MA	X <sup>(1)</sup>		
TOTAL SPACE	S PROVIDED	= <u>150 SPACE</u>	<u>ES</u>			
TOTAL TRUCK	C LOADING E	BAYS PROVIDED:	TBD			
ADA REQUIRED: 5 TOTAL PARKING STALLS TO BE ACCESSIBLE, INCLUDING 1 SPACE WHICH SHALL BE VAN ACCESSIBLE.						
ADA PROVIDED: 5 TOTAL ACCESSIBLE STALLS INCLUDING 4 VAN ACCESSIBLE STALLS.						
TOTAL REQUIRED	TOTAL EXISTING	HANDICAPPED PROVIDED	COMPACT PROVIDED	TRUCK BAYS PROVIDED	STANDARD PROVIDED	TOTAL PROVIDED
101 TO 150	0	5(2)	0	TBD	145	150
(1)PFR TOWN	(1)PER TOWN OF NORTHBOROUGH ZONING BYLAW, ANY PARKING COUNT FRACTIONS SHALL					

TYPER TOWN OF NORTHBOROUGH ZONING BYLAW, ANY PARKING COUNT FRACTIONS SHALL REQUIRE AN ADDITIONAL PARKING SPACE OR BAY. (2)INCLUDING 4 VAN ACCESSIBLE STALLS.

SITE LIGHTING DOORWAY R15' CURB RADIUS (FEET) PCC PRECAST CONCRETE CURB VGC VERTICAL GRANITE CURB LANDSCAPED AREA GRAPHIC SCALE ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT. ( IN FEET ) 1 inch = 40 ft.

PRELIMINARY LIST OF PERMITS & WAIVERS

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:
- SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

 EARTH REMOVAL PERMIT ` • DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:

ORDER OF CONDITIONS (NOI)





REV DATE DESCRIPTION THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400

**BURLINGTON, MA 01803** PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16

NORTHBOROUGH, MA 1"=40' DWG. NAME: C-1145-0 DMR | CHECKED BY:



civil & structural engineering • land surveying

environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889

FAX: (781) 935-2896

VOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NI

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

DRAWING TITLE: LAYOUT & MATERIALS PLAN

2. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS - V-101" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 24, 2019, ORIGINAL SCALE 1"=80', AND WAS GATHERED FROM AN ON-THE-GROUND SURVEY.

3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

4. ALL ELEVATIONS REFER TO NAVD 88.

5. TOWN OF NORTHBOROUGH TO COORDINATE TRAIL RELOCATION.

**LEGEND** EXIST. PROPERTY LINE SETBACK LINE BOLLARD BUILDING BUILDING ARCHITECTURE BUILDING INTERIOR WALLS RETAINING WALL < 0pe PARKING STRIPING ROADWAY STRIPING \_\_\_\_ HEAVY DUTY CONCRETE SIDEWALK ADA ACCESSIBLE RAMP ADA DET. WARNING SURFACE -PARKING COUNT SITE LIGHTING DOORWAY

R15'

PCC

VGC

CURB RADIUS (FEET)

LANDSCAPED AREA

PRECAST CONCRETE CURB

VERTICAL GRANITE CURB

MATCHLINE - SEE MATCHLINE - SEE MATCHLINE - SEE SHEET C-102A SHEET C-102A SHEET C-102A TOWN OF NORTHBOROUGH W11-2 -BK.1509/PG.142 TO COORDINATE TRAIL W16-7P CONNECTION TO "PED. CROSSING" PROPOSED CROSSWALK SIGNS WITH ARROWS HEAVY DUTY PAVED ASPHALT AT ACCESS BK.1509/PG.142 DRIVE, TYP. - SINGLE-HEAD POLE MOUNTED LIGHT, TYP. -R1-1 "STOP" SIGN AND PAINTED STOP MEET EXISTING EDGE OF PAVEMENT BARTLETT STREET (PUBLIC – VARIABLE WIDTH)

#### ZONING & LAND USAGE SUMMARY TABLE FOR BUILDING A, MAP 51 LOT 3A PARCEL "H" DEVELOPMENT, BARTLETT STREET, NORTHBOROUGH, MA ZONING DISTRICT: INDUSTRIAL - (I) LAND USAGE: TRANSPORTATION & DISTRIBUTION USE (WAREHOUSE)

ITEM	DEOL HDED	EXISTING PARCEL	PROPOSED
ILEM	REQUIRED	EXISTING PARCEL	BUILDING A LOT
LOT AREA (MIN.)	60,000 S.F.	2,570,375± S.F. 59.00± ACRES	2,570,375± S.F. 59.00± ACRES
LOT FRONTAGE (MIN.)	150 FEET	427.82 <sup>(1)</sup>	427.82 <sup>(1)</sup>
LOT WIDTH (MIN.) (3)	NONE	N/A <sup>(2)</sup>	462.2± FEET
FRONT SETBACK (MAX.) (4)	NONE	N/A <sup>(2)</sup>	166.0± FEET
FRONT YARD SETBACK (MIN.)	40 FEET	N/A <sup>(2)</sup>	166.0± FEET
SIDE YARD SETBACK (MIN.)(5)	20 FEET	N/A <sup>(2)</sup>	181.9'± (WEST) 427.7'± (EAST)
REAR YARD SETBACK (MIN.)	25 FEET	N/A <sup>(2)</sup>	178.9± FEET
LOT COVERAGE (MAX.)	50%	N/A <sup>(2)</sup>	5.87%±
FLOOR AREA RATIO (F.A.R.) (MAX.)	0.80	N/A <sup>(2)</sup>	0.0587±
OPEN SPACE (MIN.) <sup>(6)</sup>	25%	100%	60.6%± <sup>(6)</sup>
BUILDING HEIGHT (MAX.)(7)	60 FEET	N/A <sup>(2)</sup>	<60 FEET <sup>(8)</sup>

#### **ZONING & LAND USAGE SUMMARY TABLE NOTES**

(1) FRONTAGE PROVIDED ALONG BARTLETT STREET AT EASTERLY PORTION OF LOT. (2) NO EXISTING BUILDING ON-SITE.

 $^{\prime\prime}$ MAXIMUM FRONT SETBACK APPLIES ONLY TO NEW CONSTRUCTION.

MINIMUM LOT WIDTH IS DEFINED AS: "THE REQUIRED MINIMUM LOT FRONTAGE EXTENDING FROM THE FRONT LOT LINE TO THE REAR BUILDING LINE OF THE MAIN BUILDING ON THE LOT" PER THE MOST CURRENT VERSION OF THE TOWN OF NORTHBOROUGH ZONING BYLAW.

(5) PER 7-06-030(C.)(4)(b) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "IN THE INDUSTRIAL DISTRICT, THE MINIMUM SETBACK ALONG THE LOT LINE ADJACENT TO A RESIDENTIAL OR BUSINESS DISTRICT SHALL BE ONE HUNDRED (100) FEET FROM A RESIDENTIAL DISTRICT AND FIFTY (50) FEET FROM A BUSINESS DISTRICT. WHEN THE RESIDENTIAL ZONING DISTRICT BOUNDARY IS LOCATED IN OR AT A STREET, THE SETBACK MAY BE REDUCED BY THE WIDTH OF THE STREET WHICH IS IN THE RESIDENTIAL ZONE."

"PER 7-06-030(E.)(1) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "NO MORE THAN FIFTY (50) PERCENT OF THE MINIMUM OPEN SPACE FOR ANY LOT AS REQUIRED IN THE TABLE OF DENSITY AND DIMENSIONAL REGULATIONS SHALL BE FRESHWATER WETLANDS, AS DEFINED IN THE M.G.L. C.131, § 40."

PER 7-06-030(G.)(1) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "IN THE INDUSTRIAL DISTRICT, BUILDING HEIGHT MAY BE INCREASED TO EIGHTY (80) FEET BY SPECIAL PERMIT FROM THE PLANNING BOARD, PROVIDED THAT FOR EVERY FOOT OF HEIGHT IN EXCESS OF SIXTY (60) FEET, THERE SHALL BE ADDED TO EACH YARD REQUIREMENT TWO (2) CORRESPONDING FEET OF WIDTH OR DEPTH."

(8) EXACT BUILDING HEIGHT TO BE DETERMINED DURING PERMITTING PROCESS. BUILDING HEIGHT TO BE LESS THAN 60 FEET.

#### OFF-STREET PARKING SUMMARY TABLE - BUILDING A - MAP 51, LOT 3A

MINIMUM 1 SPACE PER 1,500 SQ. FT. GROSS FLOOR AREA; MAXIMUM 1 SPACE PER 1,000 SQ. FT. GROSS FLOOR AREA. 150,900± S.F. TOTAL BUILDING GROSS FLOOR AREA TOTAL SPACES REQUIRED = 101 MIN. AND 150  $MAX^{(1)}$ TOTAL SPACES PROVIDED = 150 SPACES TOTAL TRUCK LOADING BAYS PROVIDED: TBD ADA REQUIRED: 5 TOTAL PARKING STALLS TO BE ACCESSIBLE, INCLUDING 1 SPACE WHICH SHALL BE VAN ACCESSIBLE.

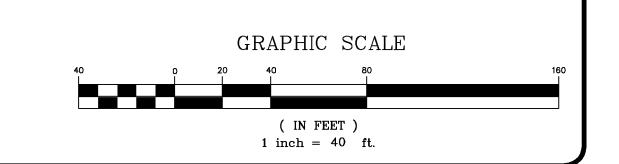
USE: WHOLESALE WAREHOUSE, TRUCK FREIGHT TERMINAL OR STORAGE WAREHOUSE:

ADA PROVIDED: 5 TOTAL ACCESSIBLE STALLS INCLUDING 4 VAN ACCESSIBLE STALLS.

TOTAL | HANDICAPPED | COMPACT | TRUCK BAYS | STANDARD | TOTAL EXISTING | PROVIDED | PROVIDED | PROVIDED | PROVIDED | REQUIRED 101 TO 150 0 5<sup>(2)</sup> 0 TBD 145 150

<sup>(1)</sup>PER TOWN OF NORTHBOROUGH ZONING BYLAW, ANY PARKING COUNT FRACTIONS SHALL REQUIRE AN ADDITIONAL PARKING SPACE OR BAY.

(2)INCLUDING 4 VAN ACCESSIBLE STALLS.



PRELIMINARY LIST OF PERMITS & WAIVERS

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

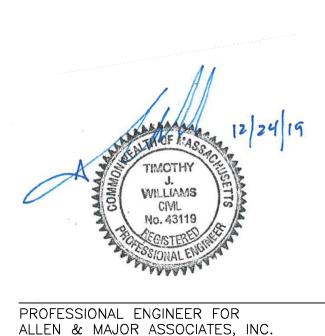
THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS: SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD) ORDER OF CONDITIONS (NOI)

 EARTH REMOVAL PERMIT DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:

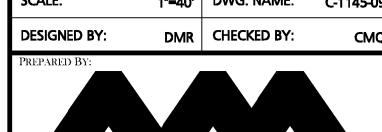
4ND	SPECIAL PERMIT APPROVAL WITH GWOPE	)



REV DATE DESCRIPTION THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400

> BURLINGTON, MA 01803 PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16

NORTHBOROUGH, MA 1"=40' DWG. NAME: C-1145-0





civil & structural engineering • land surveying environmental consulting ♦ landscape architecture www.allenmajor.com 100 COMMERCE WAY

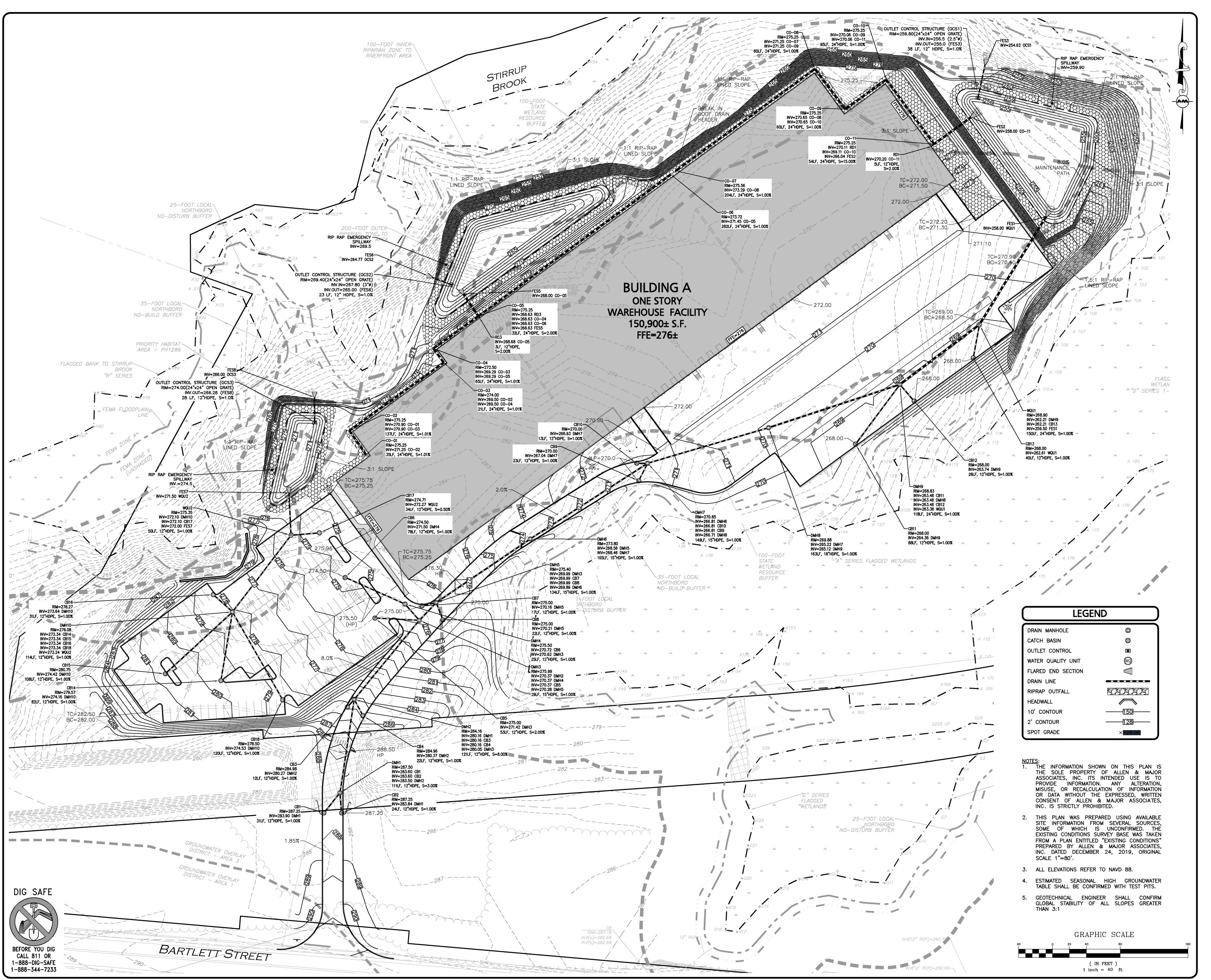
SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NI

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.

CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

> LAYOUT & MATERIALS PLAN

ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.



THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

• SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

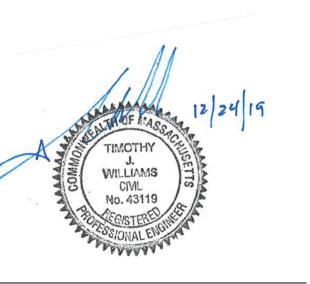
PERMIT FOR GWOPD (PLANNING BOARD)

ORDER OF CONDITIONS (NOI)

EARTH REMOVAL PERMIT

• DESIGN REVIEW COMMITTEE APPROVAL NORTHBOROUGH WAIVERS:

_ WITH GWOPD	



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

THE GUTIERREZ COMPANY

200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

DECT NO. 1145-09 DATE: 2019-12-24

LE: 1"=40' DWG. NAME: C-1145-09



ASSOCIATES, INC.
civil & structural engineering • land surveying

environmental consulting ◆ landscape architecture
w w w w . a l l e n m a j o r . c o m
100 COMMERCE WAY
SUITE 5
WOBURN MA 01801

TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NI

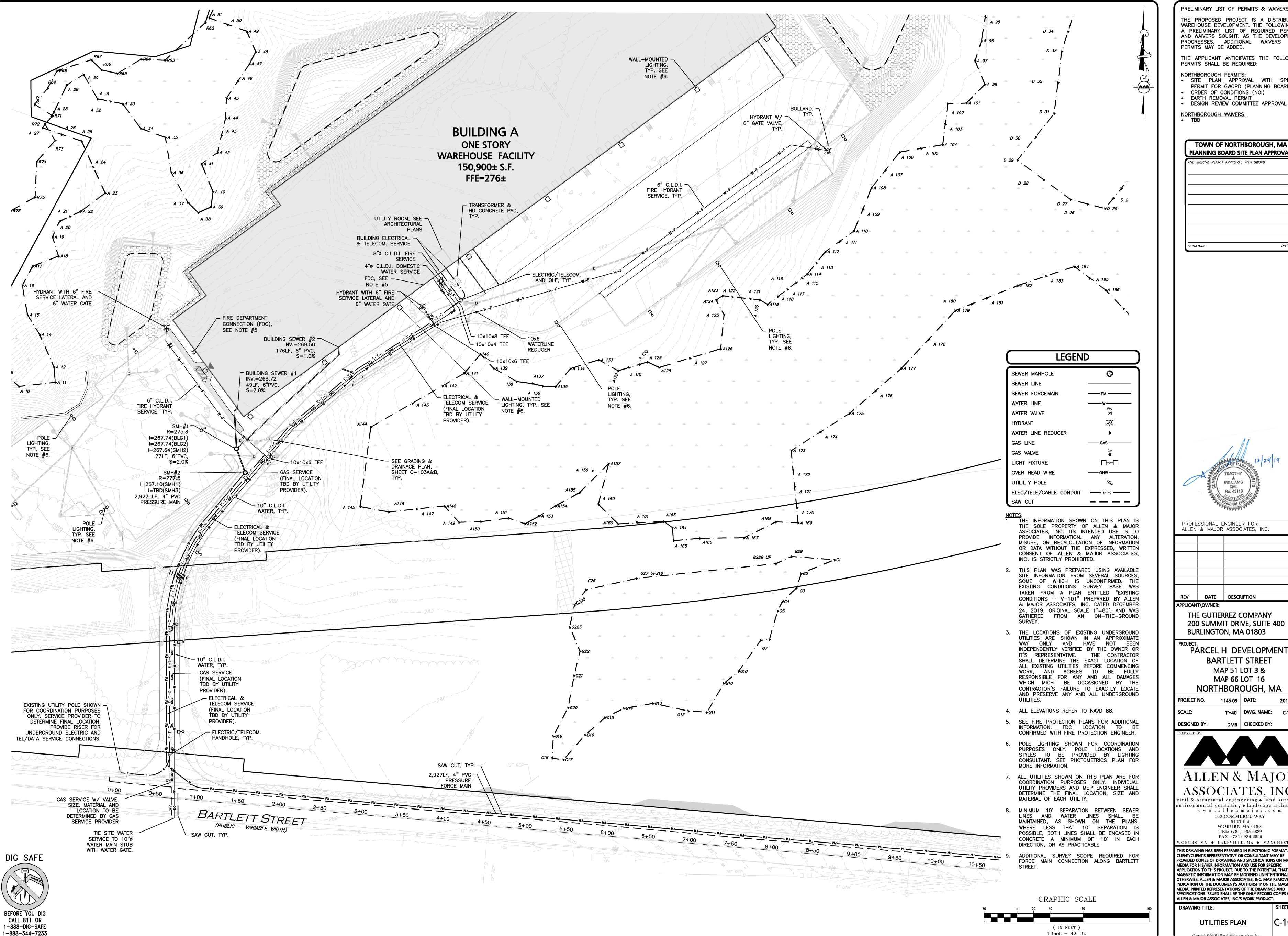
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.

CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

WING TITLE:

GRADING AND

DRAINAGE PLAN



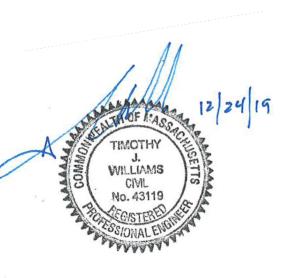
THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS: SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

ORDER OF CONDITIONS (NOI)
 EARTH REMOVAL PERMIT
 DESIGN REVIEW COMMITTEE APPROVAL

	BOROUGH, MA E PLAN APPROV
PERMIT APPROVAL	



REV DATE DESCRIPTION APPLICANT\OWNER: THE GUTIERREZ COMPANY

**BURLINGTON, MA 01803** PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16

NORTHBOROUGH, MA 1"-40' DWG. NAME: C-1145-09

**DESIGNED BY:** DMR | CHECKED BY:



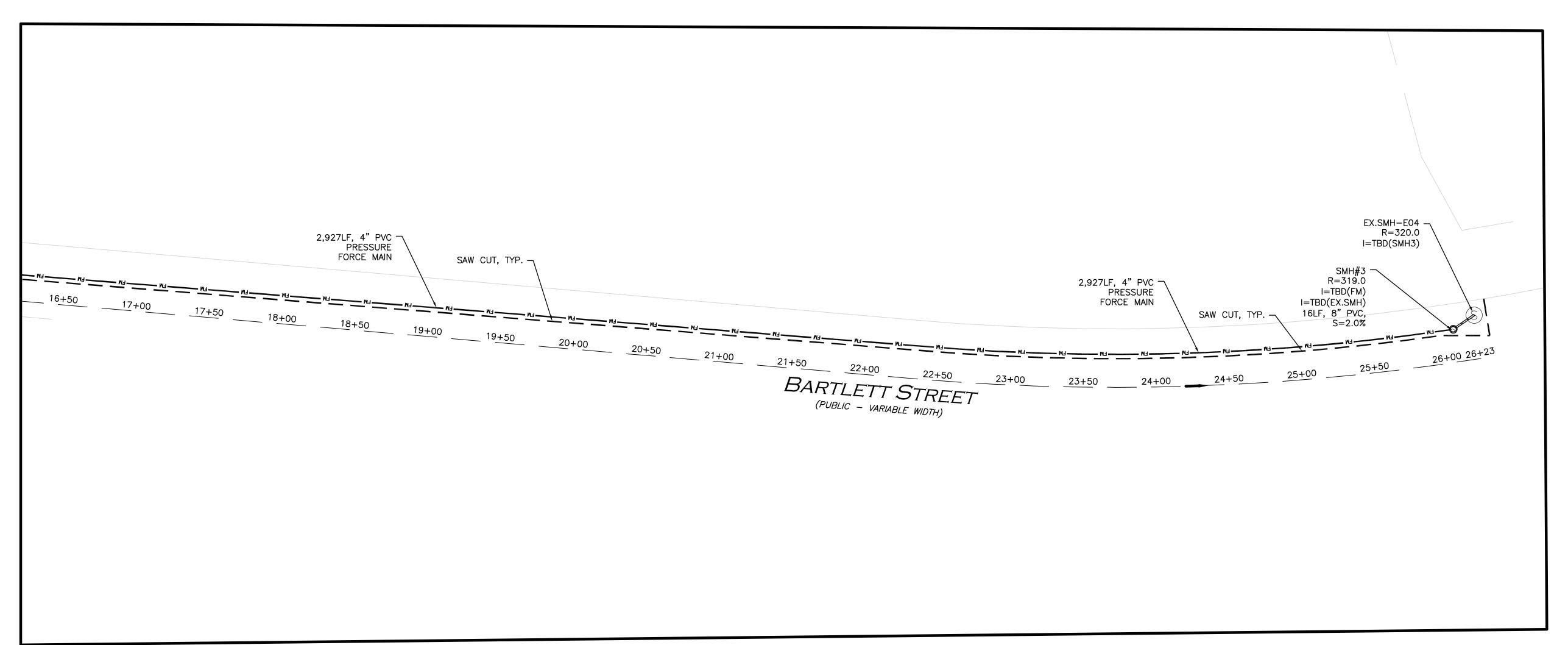
civil & structural engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY

SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NI

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT, DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

**DRAWING TITLE: UTILITIES PLAN** 

PROPOSED FORCE MAIN RUN AND STATIONING SCALE 1"=40'





LEGEND				
SEWER MANHOLE	0			
SEWER LINE				
SEWER FORCEMAIN	FM			
WATER LINE	w			
WATER VALVE	₩V <b>M</b>			
HYDRANT	Ş			
WATER LINE REDUCER	•			
GAS LINE	GAS			
GAS VALVE	GV ●			
LIGHT FIXTURE				
OVER HEAD WIRE	—— онw ———			
UTILILTY POLE	$\mathcal{O}$			
ELEC/TELE/CABLE CONDUIT	E-T-C			
SAW CUT				

- NOTES:

  1. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- 2. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS - V-101" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 24, 2019, ORIGINAL SCALE 1"=80', AND WAS GATHERED FROM AN ON-THE-GROUND
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN IT'S REPRESENTATIVE. THE CONTRACTOR WORK, AND AGREES TO BE FULLY WHICH MIGHT BE OCCASIONED BY THE UTILITIES.
- 4. ALL ELEVATIONS REFER TO NAVD 88.
- INFORMATION. FDC LOCATION TO BE CONFIRMED WITH FIRE PROTECTION ENGINEER.
- 6. POLE LIGHTING SHOWN FOR COORDINATION PURPOSES ONLY. POLE LOCATIONS AND STYLES TO BE PROVIDED BY LIGHTING MORE INFORMATION.
- 7. ALL UTILITIES SHOWN ON THIS PLAN ARE FOR COORDINATION PURPOSES ONLY. INDIVIDUAL DETERMINE THE FINAL LOCATION, SIZE AND MATERIAL OF EACH UTILITY.
- 9. ADDITIONAL SURVEY SCOPE REQUIRED FOR FORCE MAIN CONNECTION ALONG BARTLETT STREET.

PERMITS MAY BE ADDED.

NORTHBOROUGH PERMITS:

NORTHBOROUGH WAIVERS:

PERMITS SHALL BE REQUIRED:

 ORDER OF CONDITIONS (NOI) EARTH REMOVAL PERMIT `

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND

THE APPLICANT ANTICIPATES THE FOLLOWING

 SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

TOWN OF NORTHBOROUGH, MA PLANNING BOARD SITE PLAN APPROVAL

SPECIAL PERMIT APPROVAL WITH GWOPD

WILLIAMS

PROFESSIONAL ENGINEER FOR

REV DATE DESCRIPTION

THE GUTIERREZ COMPANY

BURLINGTON, MA 01803

200 SUMMIT DRIVE, SUITE 400

PARCEL H DEVELOPMENT

**BARTLETT STREET** 

MAP 51 LOT 3 &

MAP 66 LOT 16

NORTHBOROUGH, MA

1145-09 DATE:

ALLEN & MAJOR

ASSOCIATES, INC. civil & structural engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.

CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC

MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

1"=40' DWG. NAME: C-1145-09

DMR CHECKED BY:

2019-12-24

C-104B

APPLICANT\OWNER:

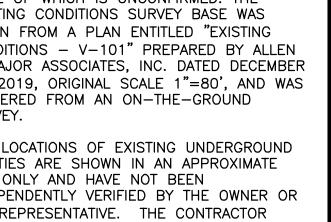
PROJECT NO.

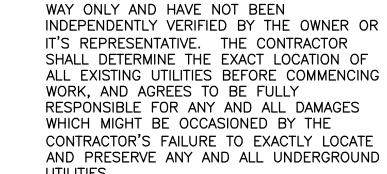
DESIGNED BY:

SCALE:

ALLEN & MAJOR ASSOCIATES, INC.

DESIGN REVIEW COMMITTEE APPROVAL





5. SEE FIRE PROTECTION PLANS FOR ADDITIONAL

- CONSULTANT. SEE PHOTOMETRICS PLAN FOR
- UTILITY PROVIDERS AND MEP ENGINEER SHALL
- 8. MINIMUM 10' SEPARATION BETWEEN SEWER LINES AND WATER LINES SHALL BE MAINTAINED, AS SHOWN ON THE PLANS. WHERE LESS THAT 10' SEPARATION IS POSSIBLE, BOTH LINES SHALL BE ENCASED IN CONCRETE A MINIMUM OF 10' IN EACH DIRECTION, OR AS PRACTICABLE.

GRAPHIC SCALE

( IN FEET ) 1 inch = 40 ft.

**UTILITIES PLAN** Copyright ©2019 Allen & Major Associates, Inc. All Rights Reserved

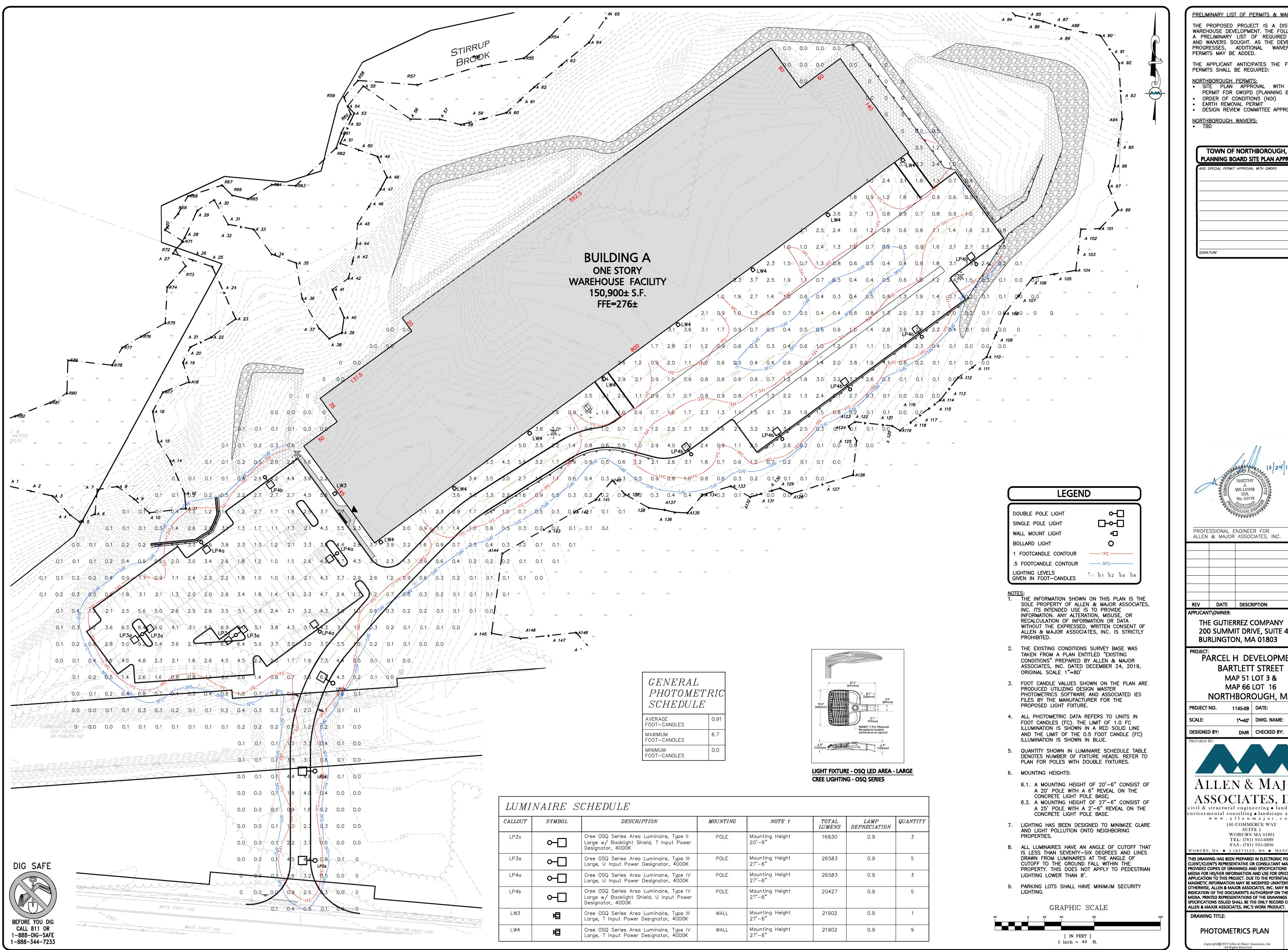
ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:

PROPOSED FORCE MAIN RUN AND STATIONING

SCALE 1"=40'

DIG SAFE CALL 811 OR 1-888-DIG-SAFE 1-888-344-7233



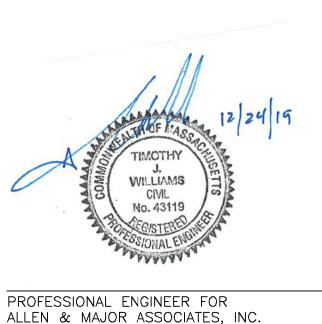
THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:
- SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

ORDER OF CONDITIONS (NOI)
 EARTH REMOVAL PERMIT
 DESIGN REVIEW COMMITTEE APPROVAL

TOWN OF NORTHBOROUGH, MA PLANNING BOARD SITE PLAN APPROVAL AND SPECIAL PERMIT APPROVAL WITH GWOPD



REV DATE DESCRIPTION

APPLICANT\OWNER: THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16

NORTHBOROUGH, MA 1"=40' DWG. NAME: C-1145-09

DMR | CHECKED BY: **DESIGNED BY:** 



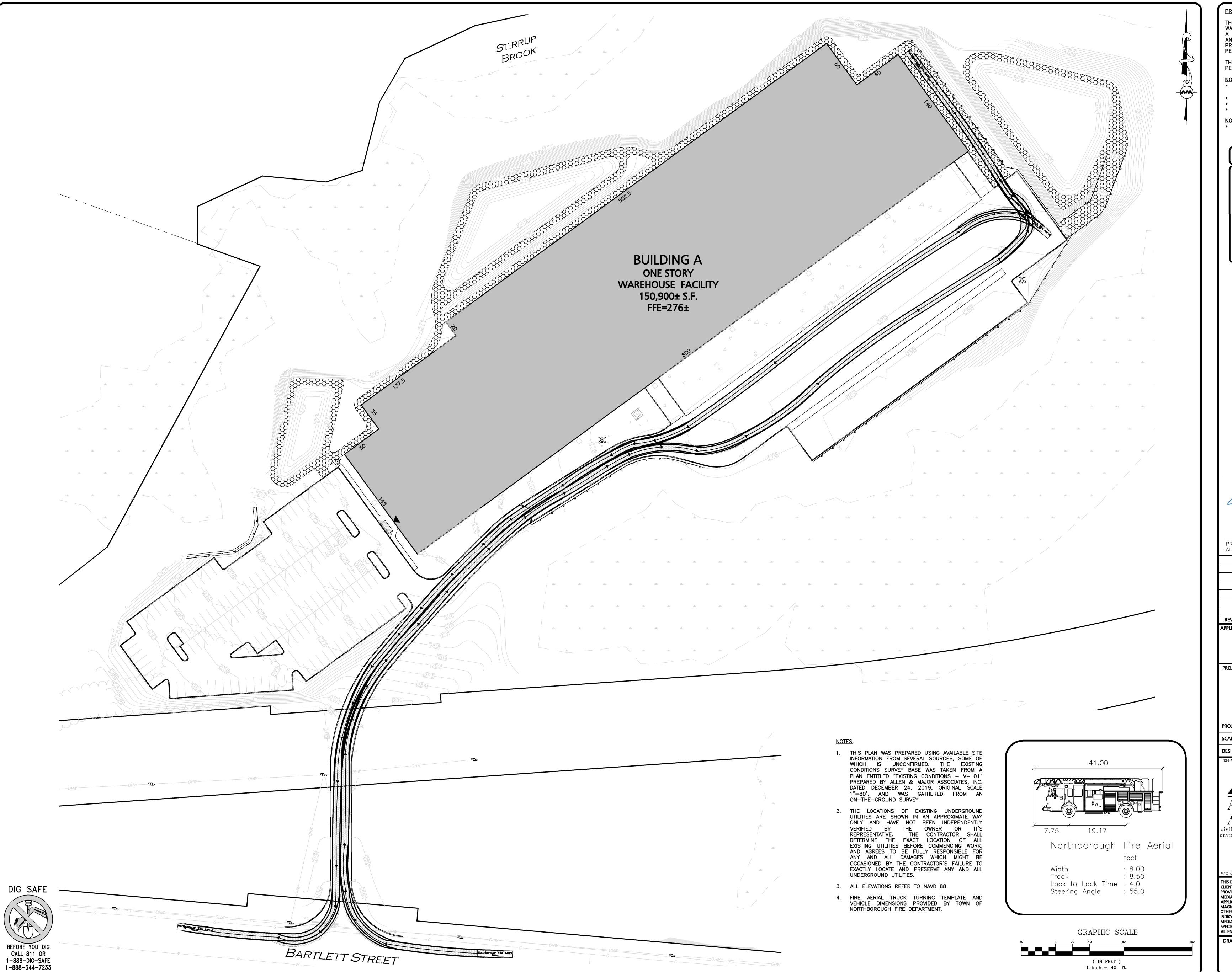
ASSOCIATES, INC. civil & structural engineering • land surveying

environmental consulting ♦ landscape architecture www.allenmajor.com 100 COMMERCE WAY

WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

C-105 PHOTOMETRICS PLAN



THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

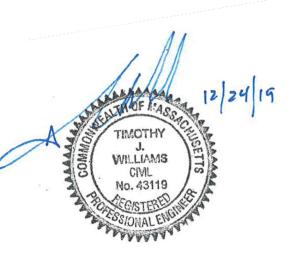
SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

ORDER OF CONDITIONS (NOI)

EARTH REMOVAL PERMIT

DESIGN REVIEW COMMITTEE APPROVAL

AND SPECIAL	PERMIT APPRO	OVAL WITH GWOPD	



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION	_

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 **BURLINGTON, MA 01803** 

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16

NORTHBOROUGH, MA



# ASSOCIATES, INC.

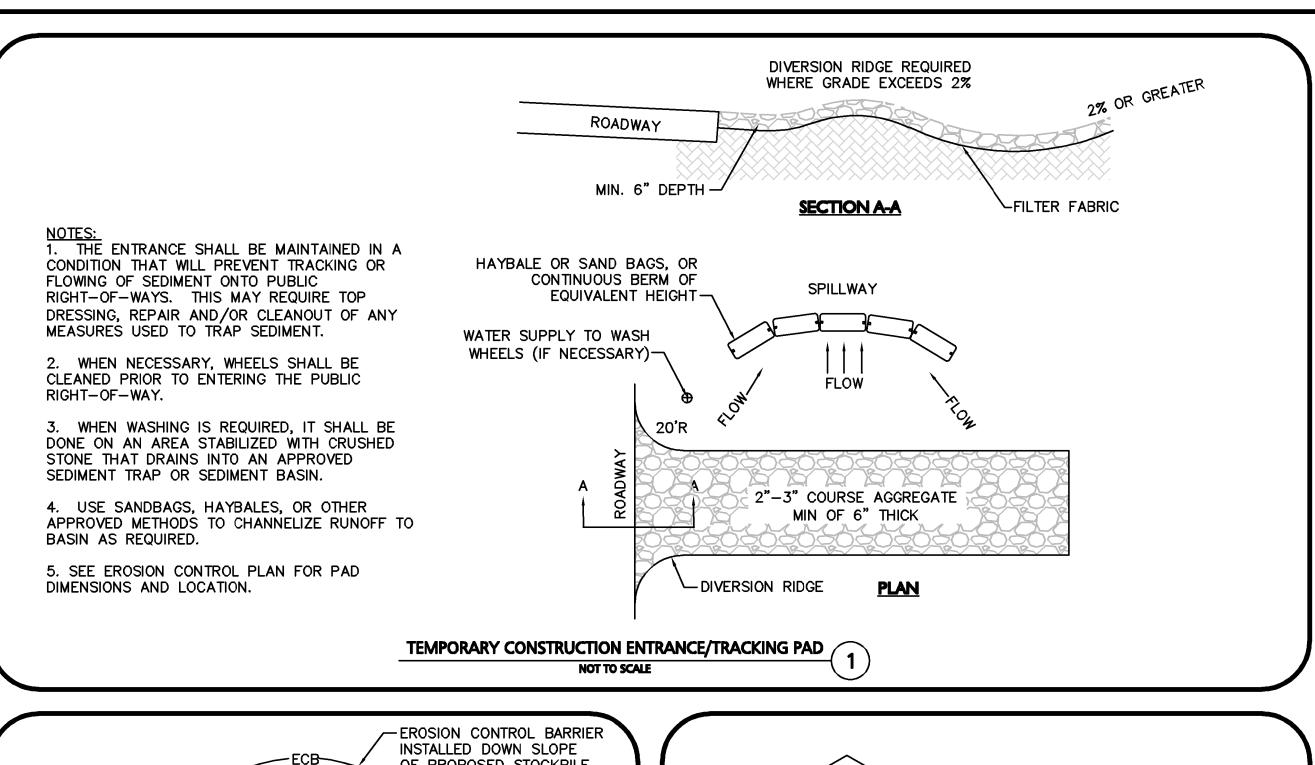
civil & structural engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com

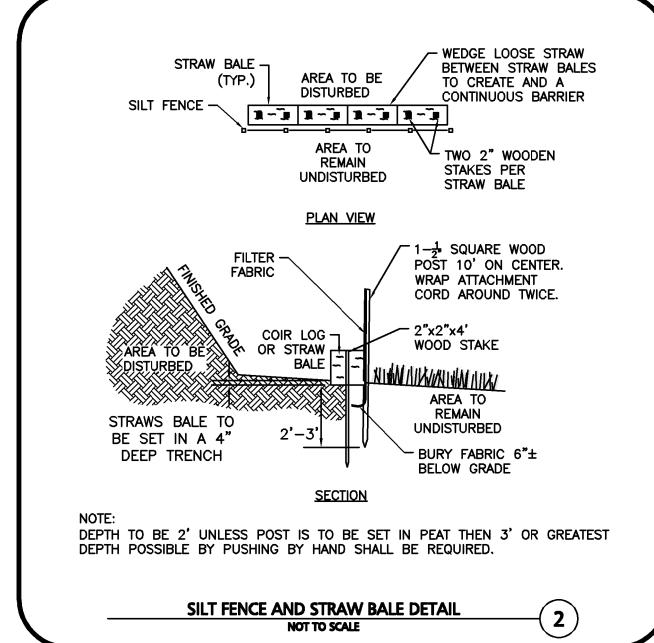
100 COMMERCE WAY SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889

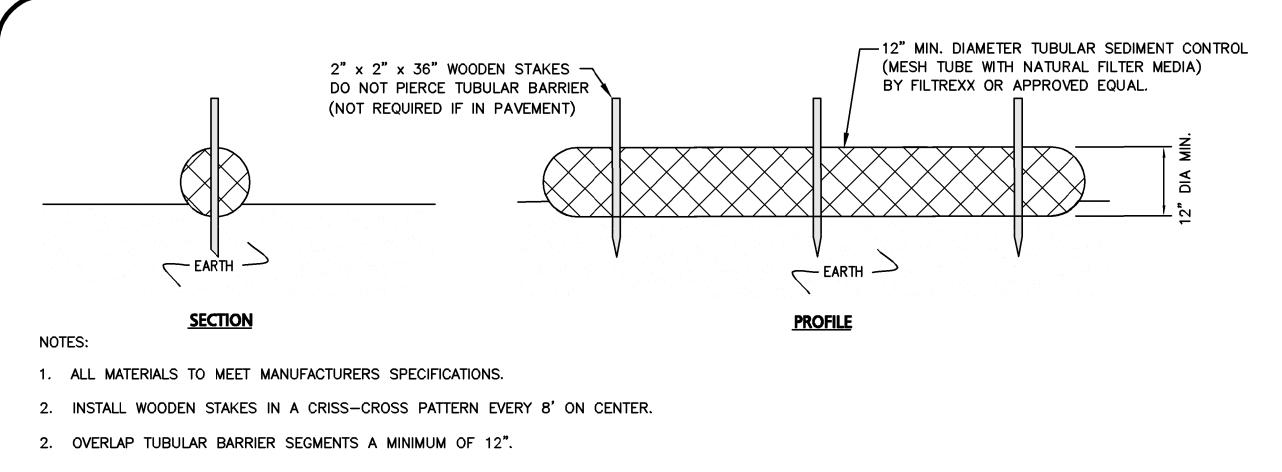
FAX: (781) 935-2896 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.

CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

FIRE TRUCK TURNING

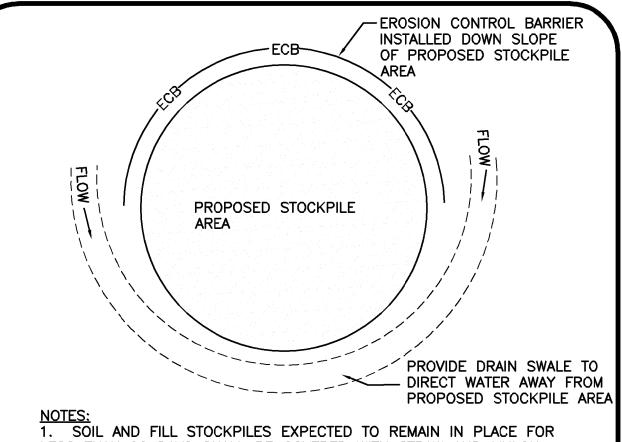




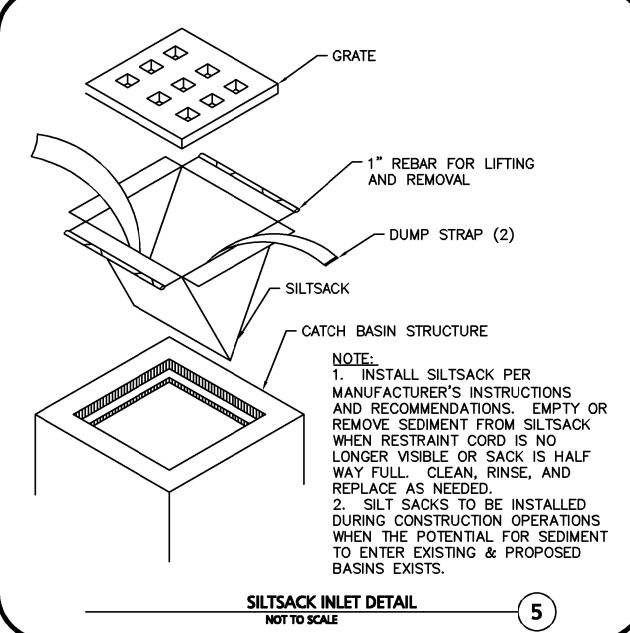


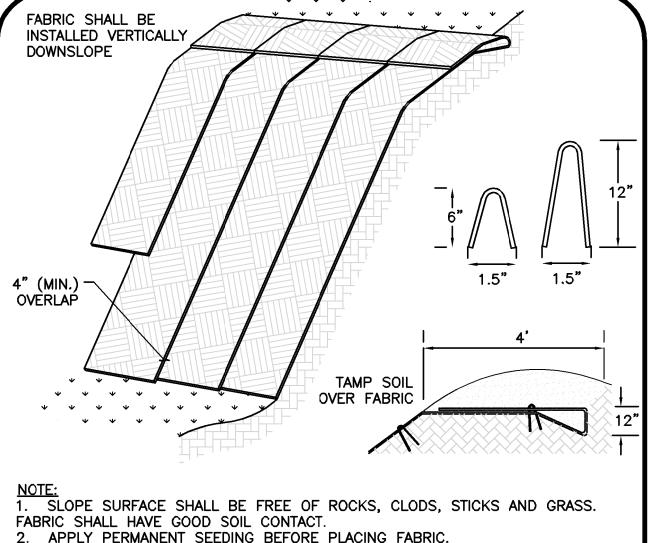
- 3. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
- WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- 5. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

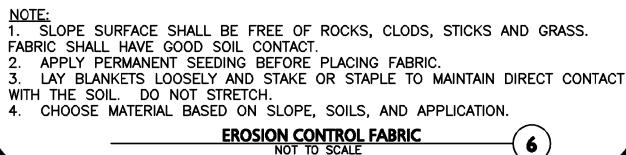
#### **TUBULAR SEDIMENT BARRIER DETAIL** NOT TO SCALE

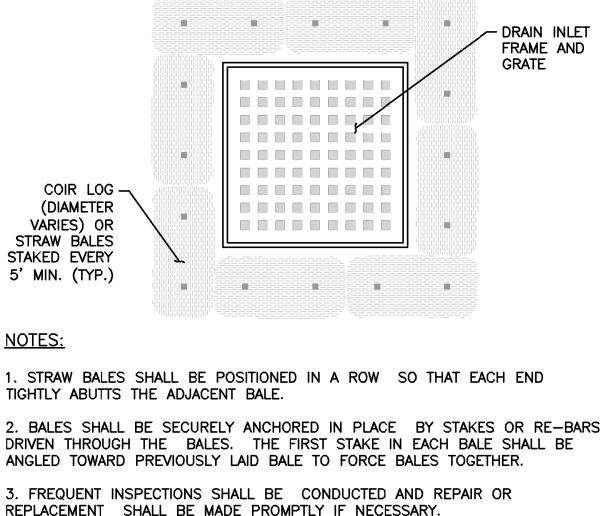


LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100 LBS/1,000 S.F.), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL. 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

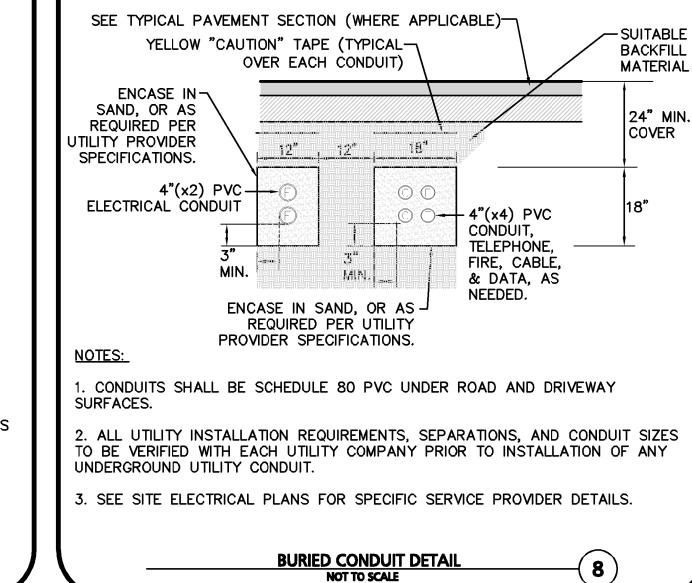








TYPICAL STRAW BALE FILTER DETAIL



**NOTES:** 

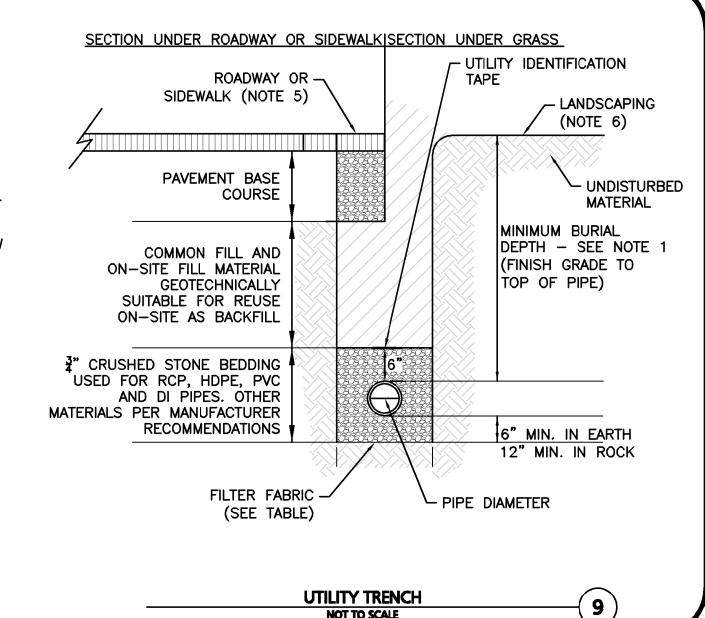
MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE) GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE PRESSURE PIPE UNDER PAVING - 4' PRESSURE PIPE BENEATH UNPAVED - 3' WATER PIPE - 5'

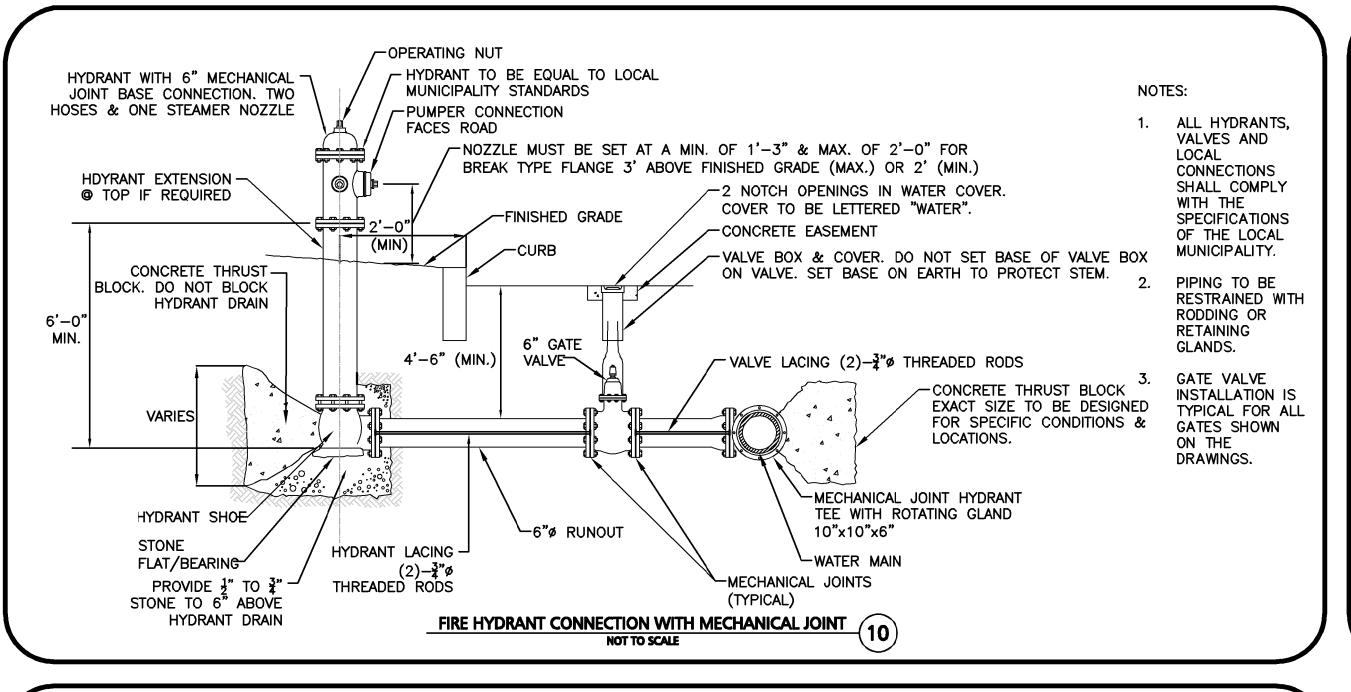
STOCKPILE PROTECTION

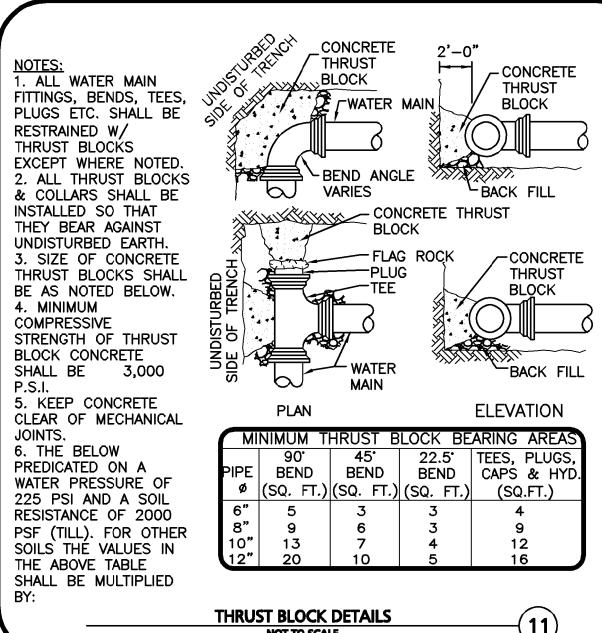
NOT TO SCALE

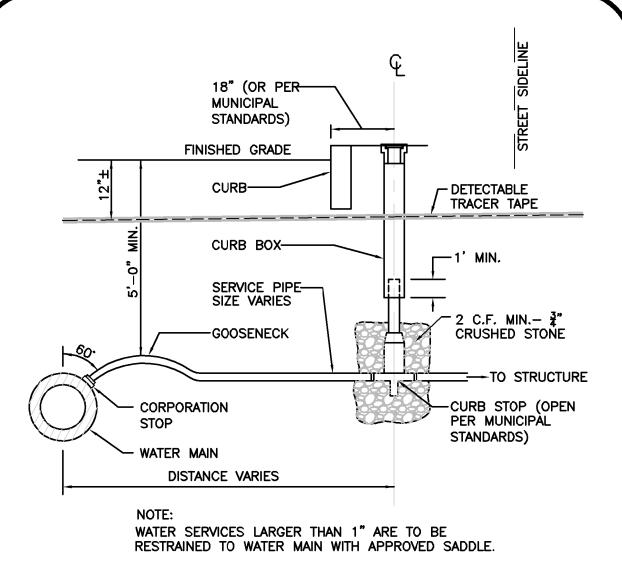
- WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
- TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
- WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED, THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
- REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.
- . REFER TO LANDSCAPING DETAILS

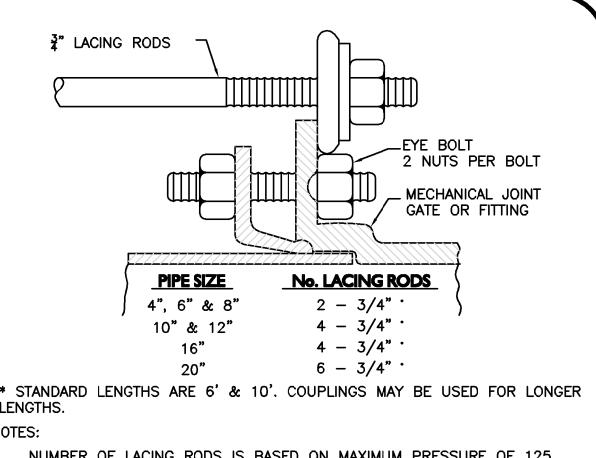
		FILTER FABRIC USE			
		SOIL TYPE			
		SILT OR CLAY	GRANULAR SOIL		
	ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED		
	BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED		





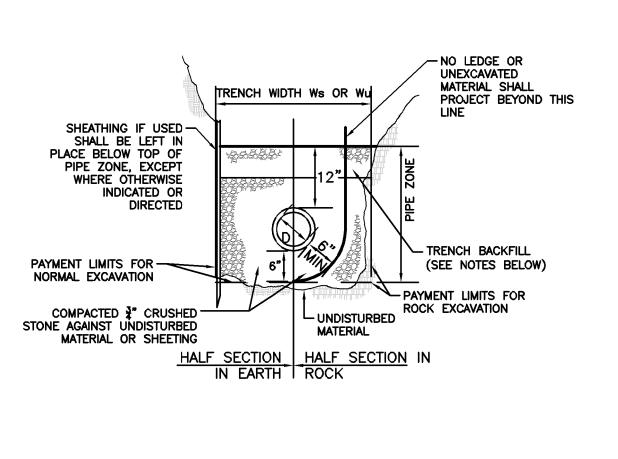




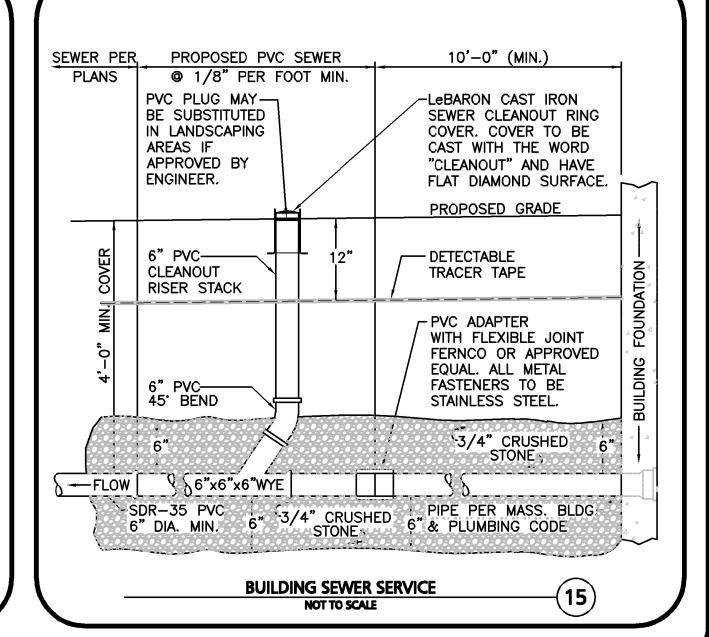


- NUMBER OF LACING RODS IS BASED ON MAXIMUM PRESSURE OF 125 P.S.I. IN MAIN.
- EYE-BOLTS AND LACING RODS ARE TO BE FABRICATED FROM A-36 STEEL LACING RODS SHALL HAVE A YIELD STRESS OF NOT LESS THAN
- 36,000 P.S.I. EYE-BOLTS SHALL HAVE A MINIMUM TENSILE STRENGTH OF 7,000 LBS. MECHANICAL JOINT LACING DETAIL

NOT TO SCALE



- TRENCH BACKFILL TO BE USED WITHIN THE RIGHT-OF-WAY SHALL CONSIST OF EITHER GRAVEL BORROW MEETING MHD SPECIFICATION M1.03.0, TYPE "B" OR PROCESSED GRAVEL BORROW FOR SUBBASE
- WHERE THE REMOVAL OF 100 SQUARE FEET OR LESS OF ASPHALT IS REQUIRED WITHIN THE RIGHT OF WAY. THEN THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL MEETING MHD SPECIFICATION M4.08.0, TYPE "1E" OR "2E".
- CONSIST OF MATERIAL GENERATED DURING EXCAVATIONS PROVIDED ALL STONES GREATER THAN 4" ARE REMOVED PRIOR TO PLACEMENT AND COMPACTION
- GRANULAR TRENCH BACKFILL MATERIAL USED WITHIN THE RIGHT-OF-WAY SHALL BE PLACED IN MAXIMUM 6" LIFTS AND MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AND TO 90% ELSEWHERE AS DETERMINED BY ASTM D 1557.



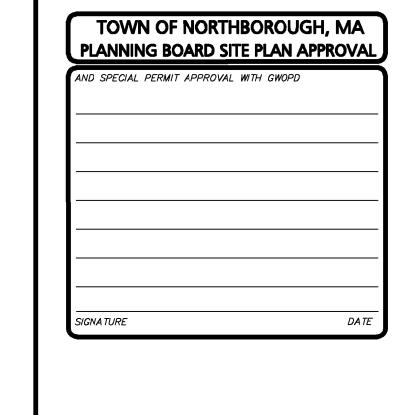
PRELIMINARY LIST OF PERMITS & WAIVERS THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND

PERMITS MAY BE ADDED. THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS: SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

ORDER OF CONDITIONS (NOI) EARTH REMOVAL PERMIT ` DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:





	 	NGINEER ASSOCIA	 INC.	

REV DATE DESCRIPTION APPLICANT\OWNER:

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 **BURLINGTON, MA 01803** 

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16 NORTHBOROUGH, MA

1145-09 DATE: AS SHOWN DWG. NAME: C-1145-0 DMR | CHECKED BY: DESIGNED BY:



ASSOCIATES, INC. sivil & structural engineering ◆ land surveyin rvironmental consulting • landscape architecture www.allenmajor.com

100 COMMERCE WAY SUITE 5 WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896

OBURN. MA ♦ LAKEVILLE. MA ♦ MANCHESTER. N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE Magnetic information may be modified unintentionally of THERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: C-50° **DETAILS** 

Copyright ©2019 Allen & Major Associates, Inc. All Rights Reserved

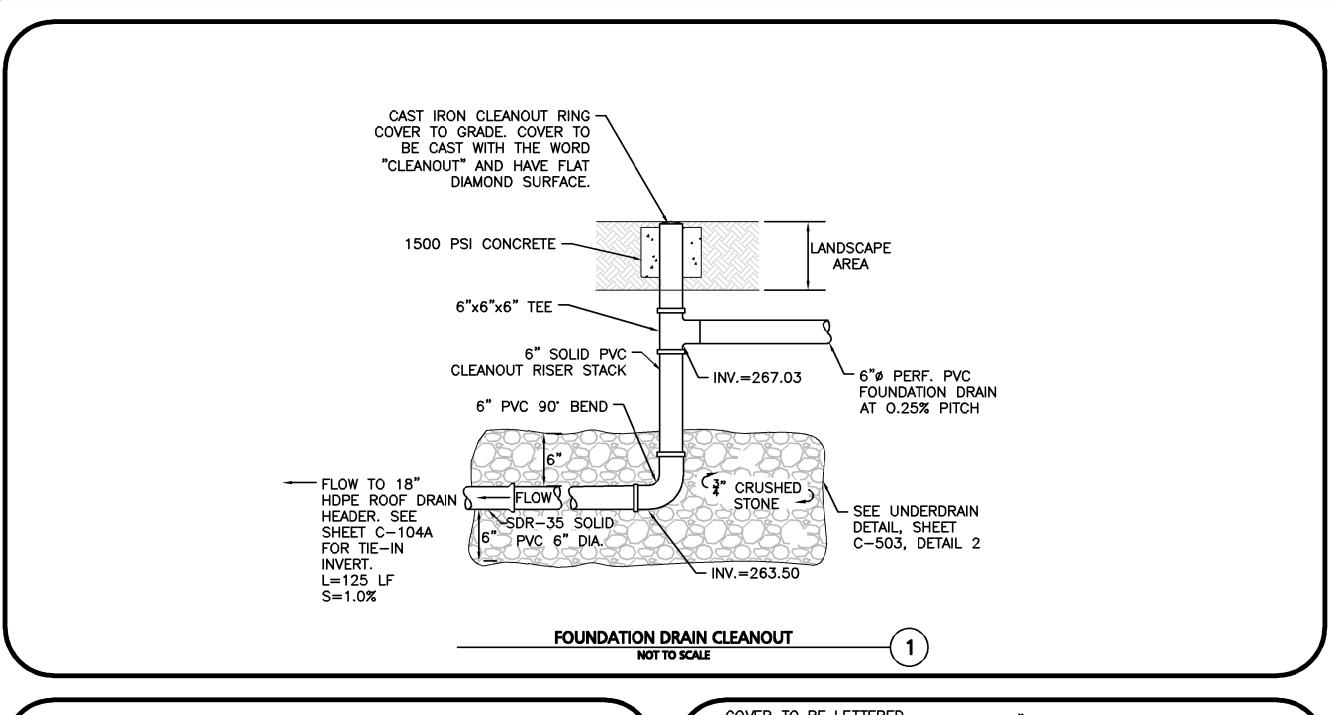
LENGTHS. TYPICAL WATER SERVICE CONNECTION **NOT TO SCALE** 

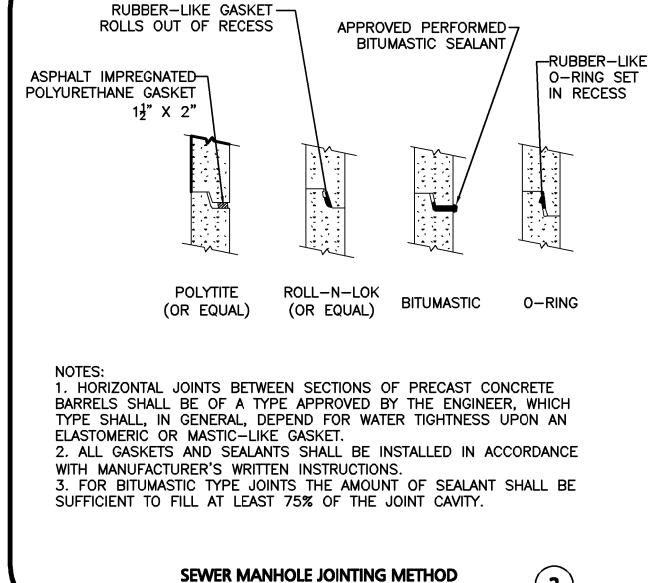
**SEWER TRENCH** 

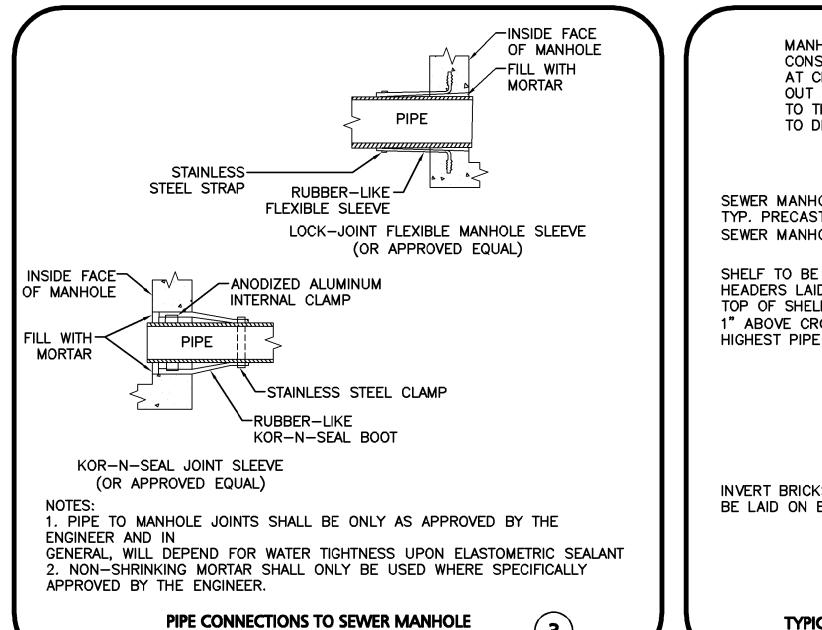
MEETING MHD SPECIFICATION M1.03.1.

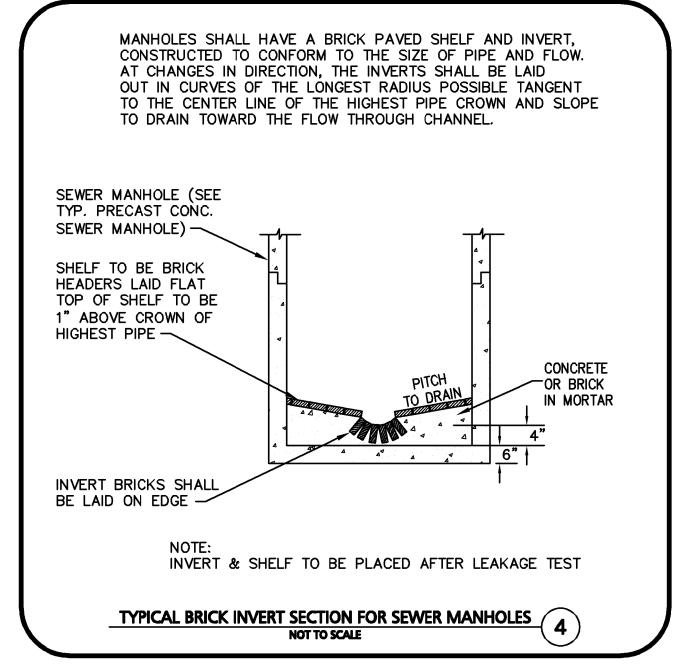
TRENCH BACKFILL MATERIAL TO BE USED OF THE RIGHT-OF-WAY MAY

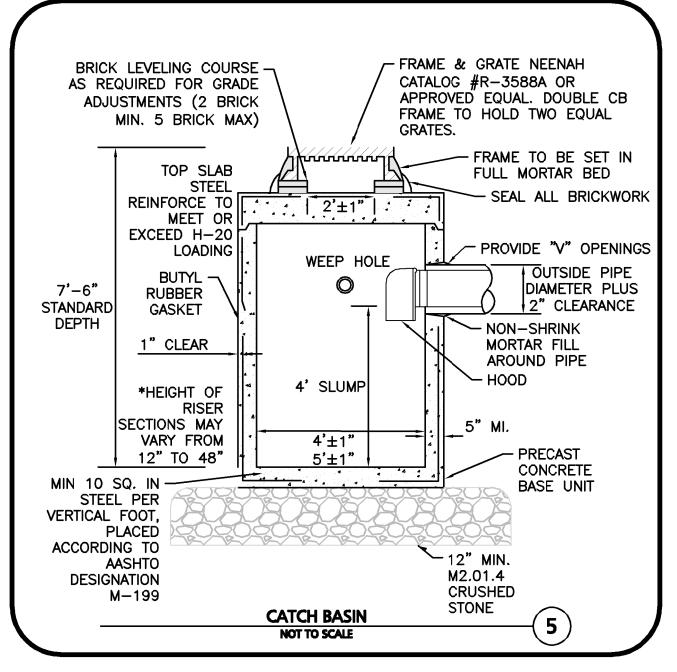
(14)

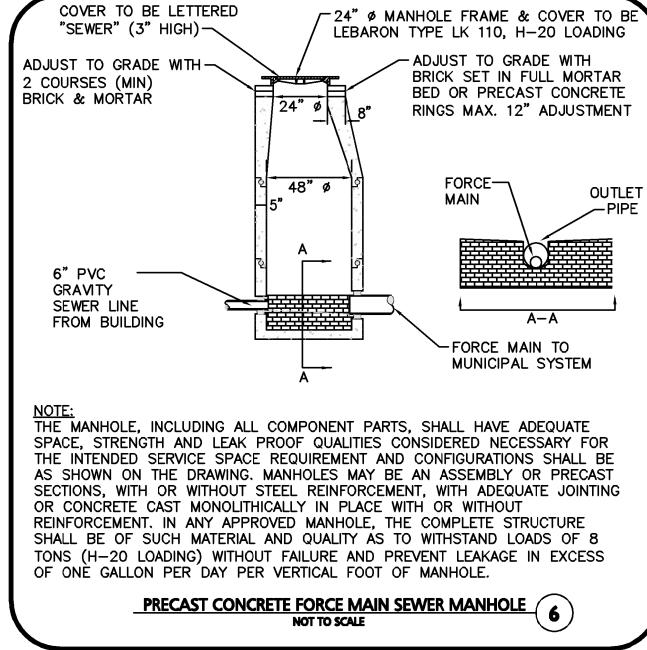


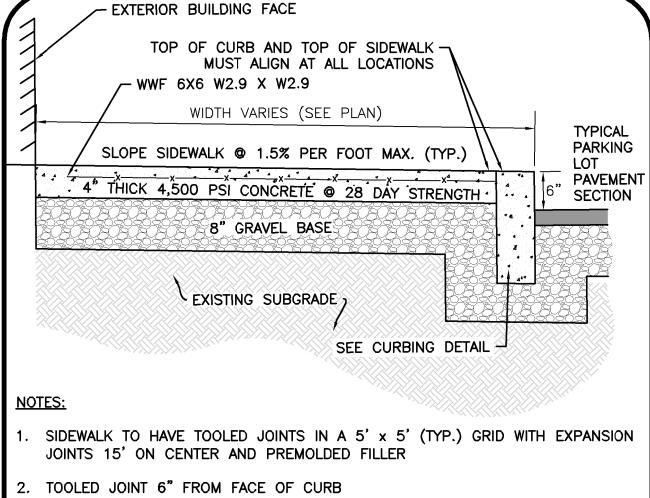


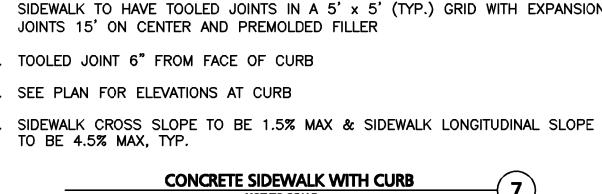


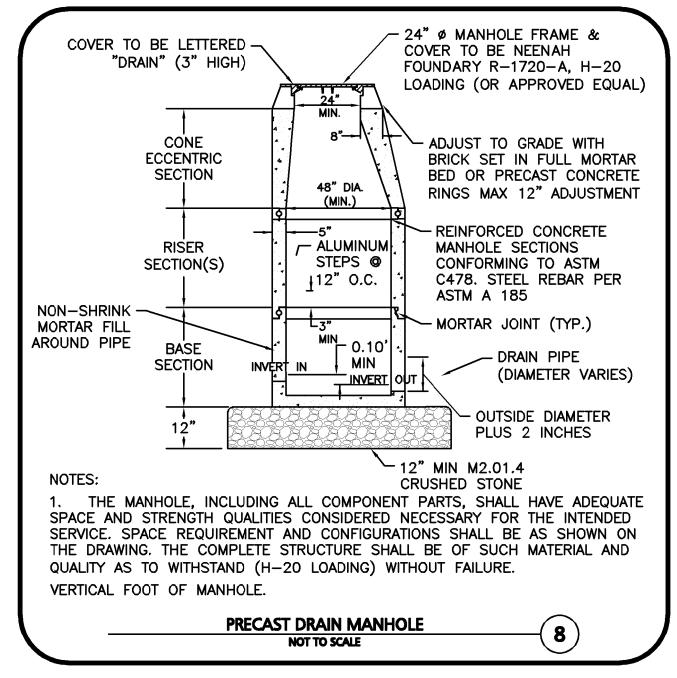












1'-0"

RESERVED

**PARKING** 

VAN ACCESSIBLE

SPECIFIC CODE SHALL BE REFERENCED FOR LOCAL AND STATE REQUIREMENTS.

PROVIDE (1) SIGN PER HANDICAP SPACE. SEE SITE PLAN FOR EXACT

EXPANSION JOINT MATERIAL NOT REQUIRED WITH FLEXIBLE PAVEMENT.

ADA ACCESSIBLE PARKING / TRAFFIC CONTROL SIGNAGE

► 1.5" RADIUS

(OR PER

LOCAL

CODE)

12"x18"x.080 GA. RETRO — REFLECTORIZED

INTERNATIONAL SYMBOL OF ACCESSIBILITY.

LETTERING IN WHITE ON

ADDITIONAL SIGN STATING

WHERE INDICATED ON

SITE PLAN AS "VAN"

" SQUARE SIGN POST FOR

HANDICAP SIGNAGE ONLY

SET IN 6" PIPE BOLLARD.

PAINT YELLOW, FILL WITH

1" EXPANSION -

4' DEEP x 18"

DIA. 3,000 PSI

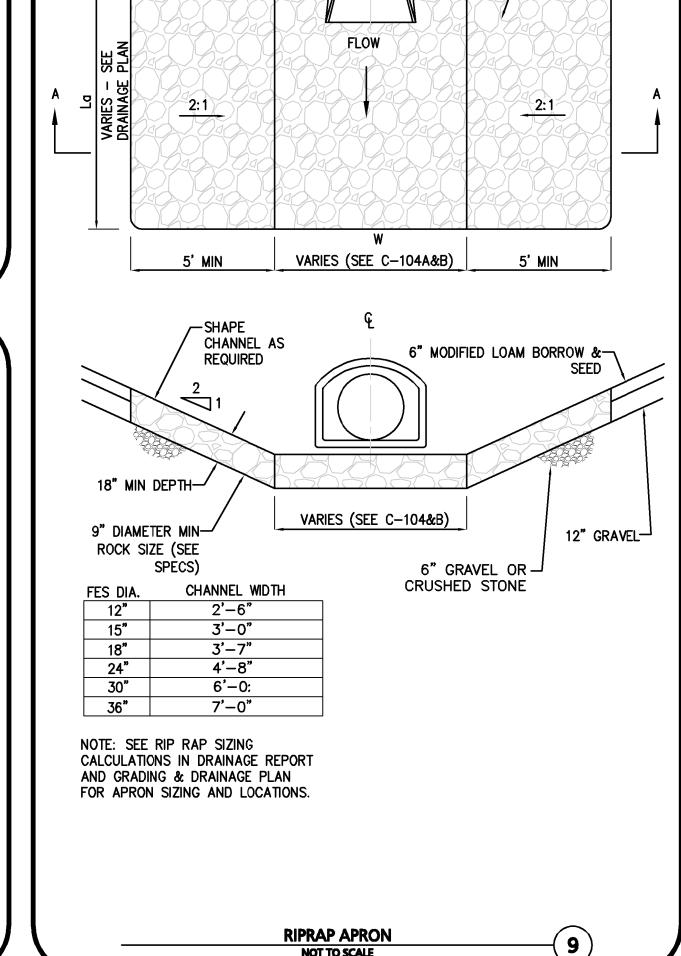
CONCRETE

"VAN ACCESSIBLE SPACE"

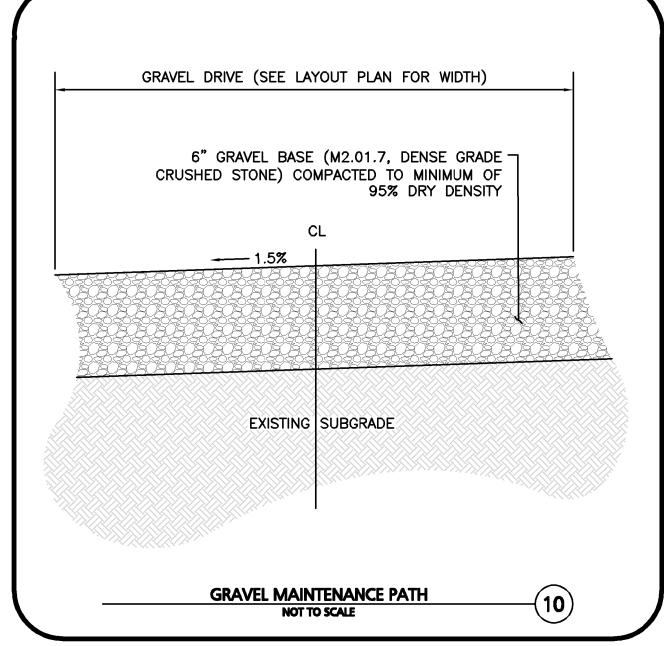
BLUE BACKGROUND.

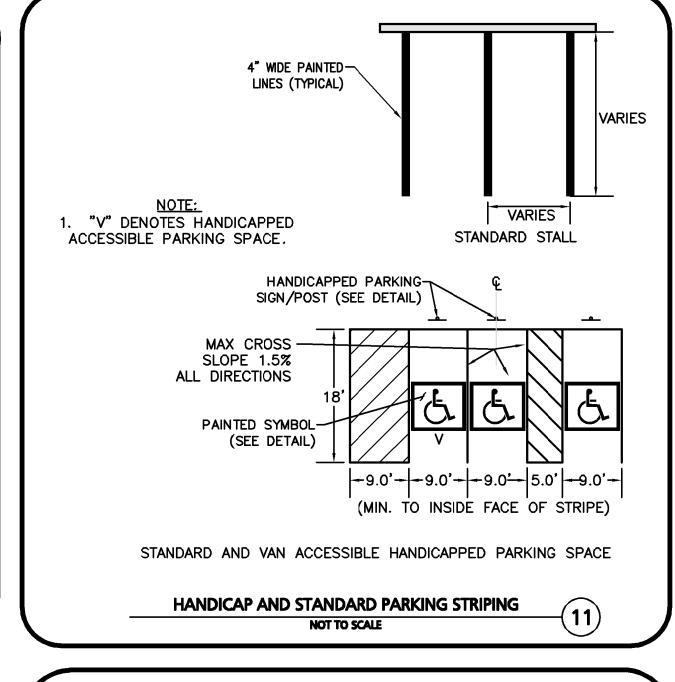
ALUMINUM SIGN

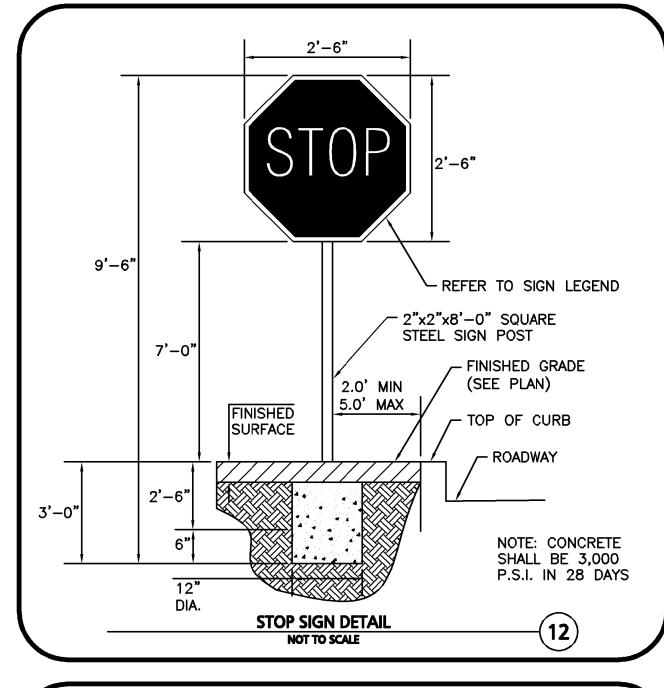
BORDER AND

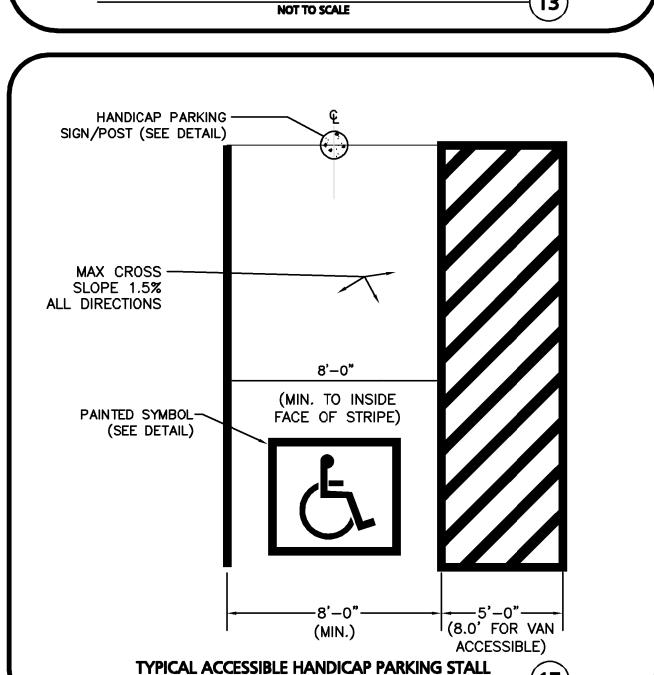


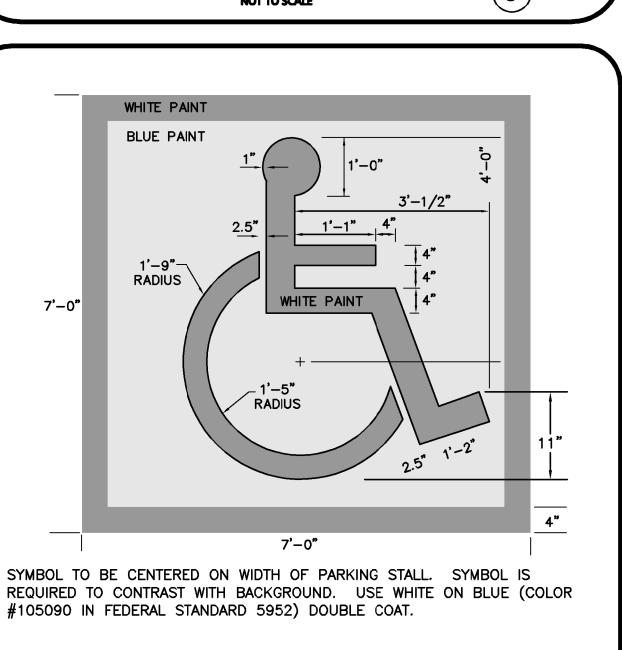
TOP OF SLOPE-

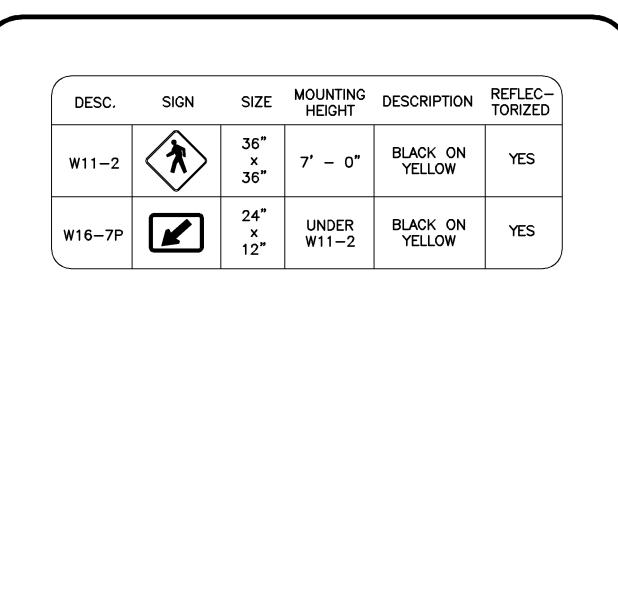


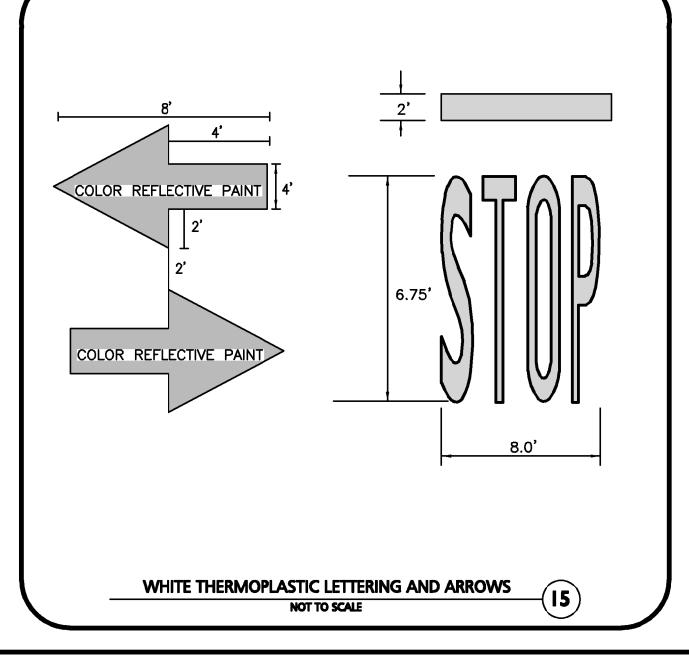


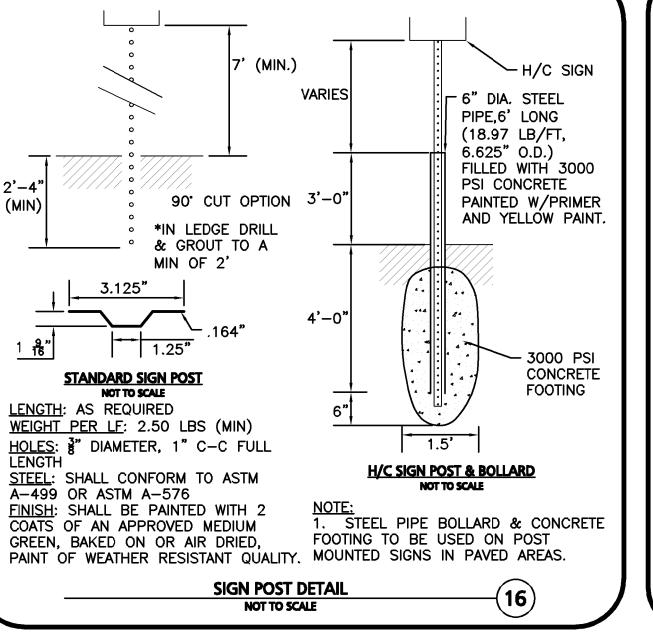


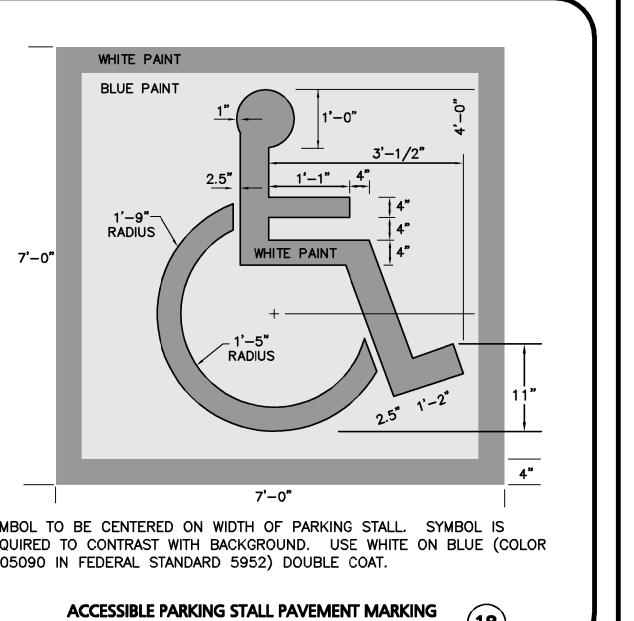












PERMITS MAY BE ADDED. THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED: NORTHBOROUGH PERMITS: SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD) ORDER OF CONDITIONS (NOI) EARTH REMOVAL PERMIT ` DESIGN REVIEW COMMITTEE APPROVAL NORTHBOROUGH WAIVERS: TOWN OF NORTHBOROUGH, MA **PLANNING BOARD SITE PLAN APPROVAL** AND SPECIAL PERMIT APPROVAL WITH GWOPD —HDPE FLARED END SECTION \_\_ D50 STONE RIPRAP 6" DEEP MIN. PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC. REV DATE DESCRIPTION APPLICANT\OWNER: THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 **BURLINGTON, MA 01803** PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16 NORTHBOROUGH, MA PROJECT NO. 1145-09 DATE: AS SHOWN DWG. NAME: C-1145-09 DESIGNED BY DMR | CHECKED BY: ASSOCIATES, INC. ivil & structural engineering ◆ land surveying environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 VOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NI THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE Magnetic information may be modified unintentionally or OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT. DRAWING TITLE:

PRELIMINARY LIST OF PERMITS & WAIVERS

THE PROPOSED PROJECT IS A DISTRIBUTION

WAREHOUSE DEVELOPMENT. THE FOLLOWING IS

A PRELIMINARY LIST OF REQUIRED PERMITS

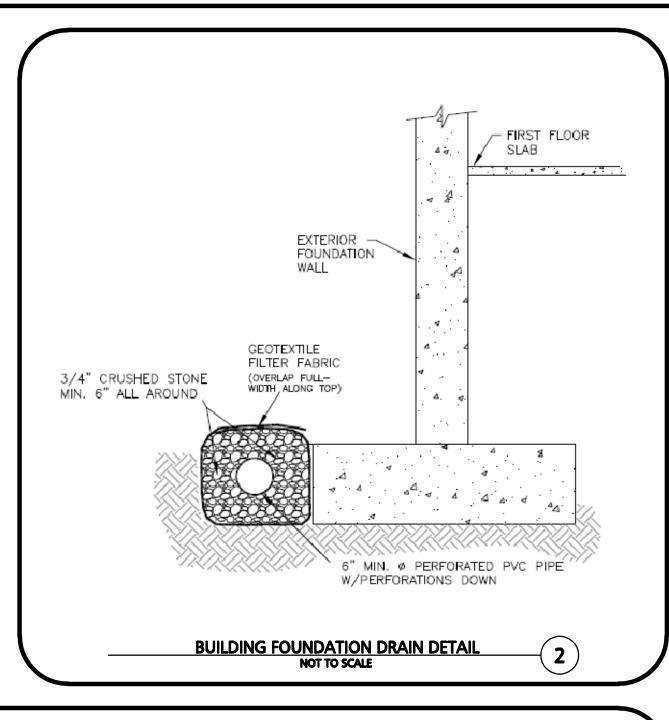
AND WAIVERS SOUGHT. AS THE DEVELOPMENT

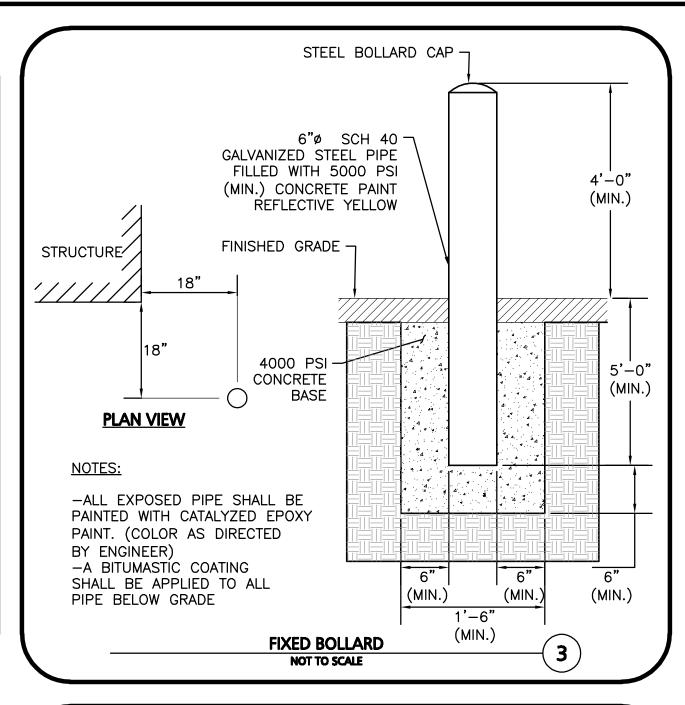
PROGRESSES, ADDITIONAL WAIVERS AND

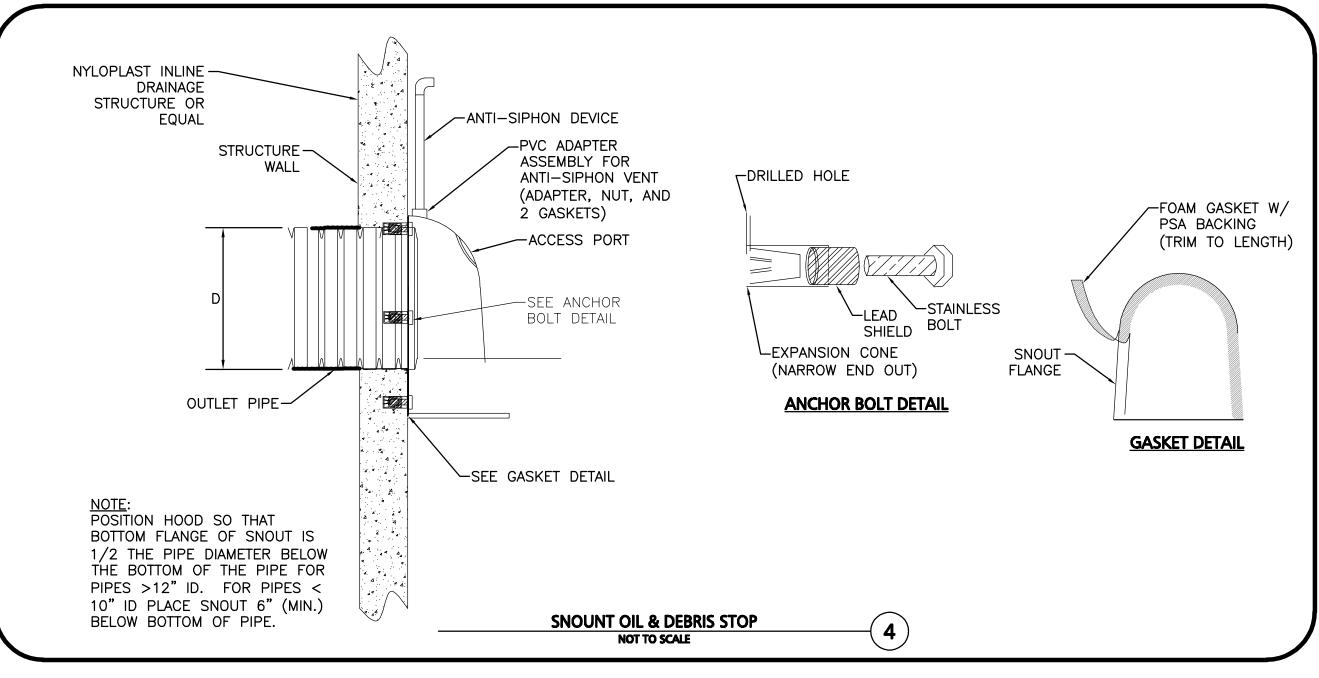
C-502 **DETAILS** 

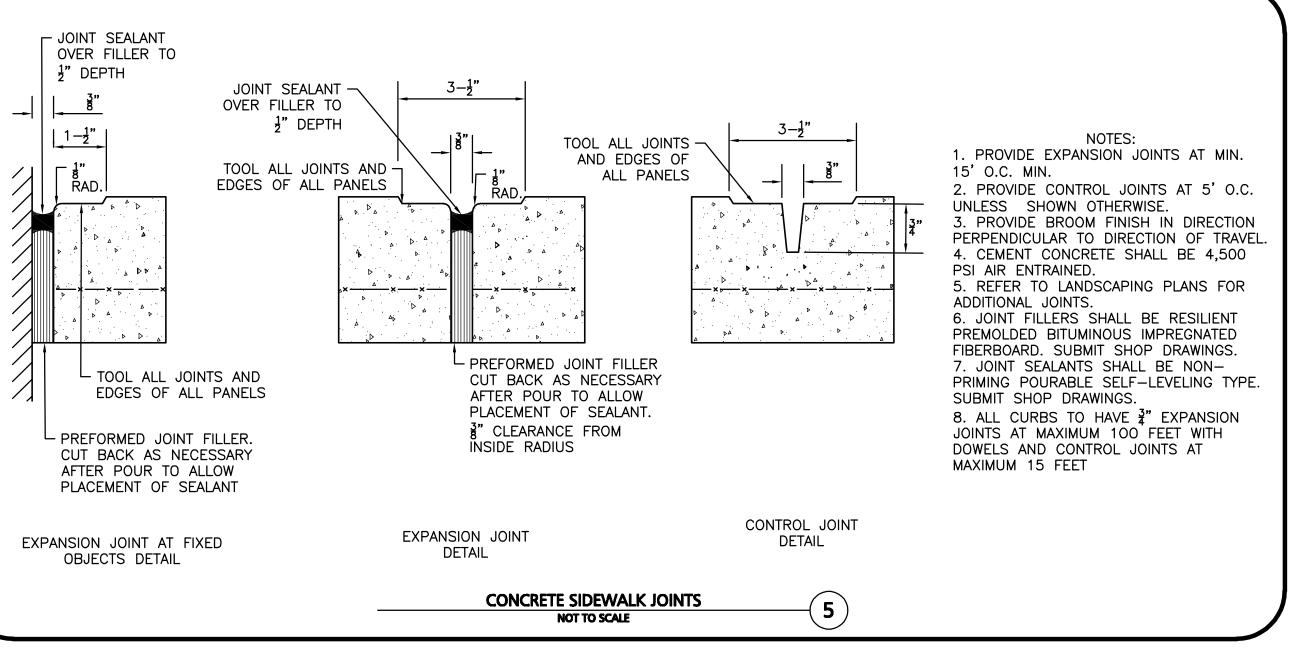
Copyright ©2019 Allen & Major Associates, Inc.

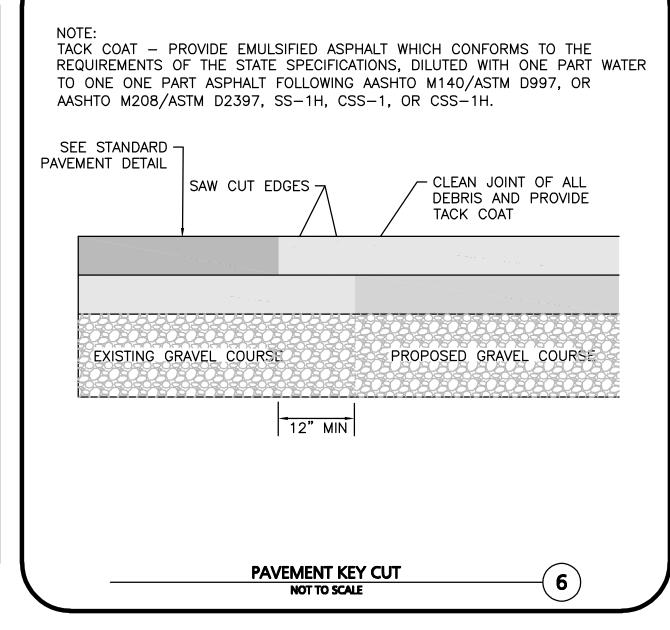
2019-12-24

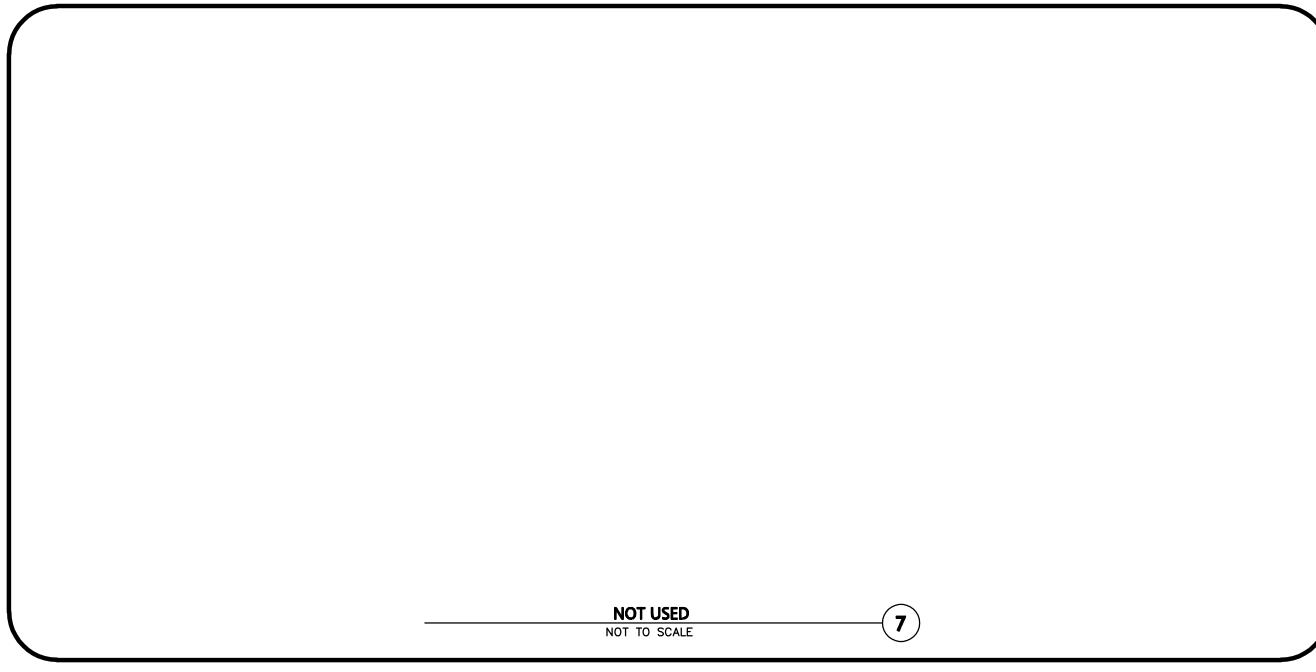


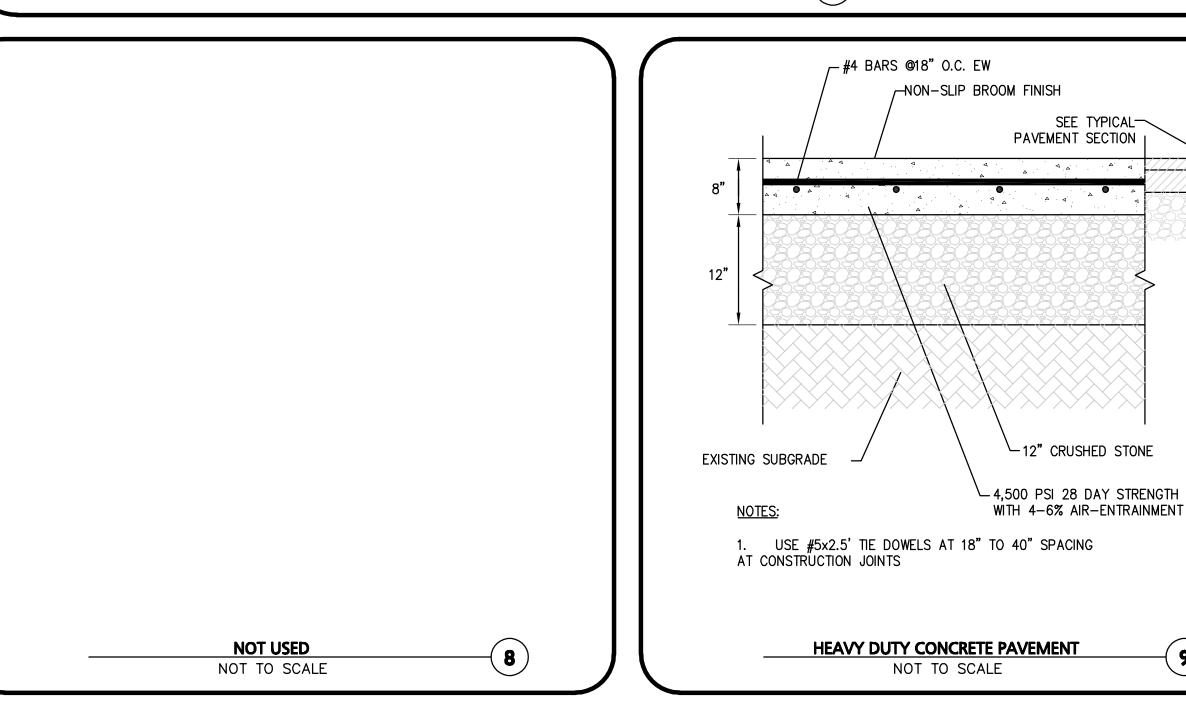


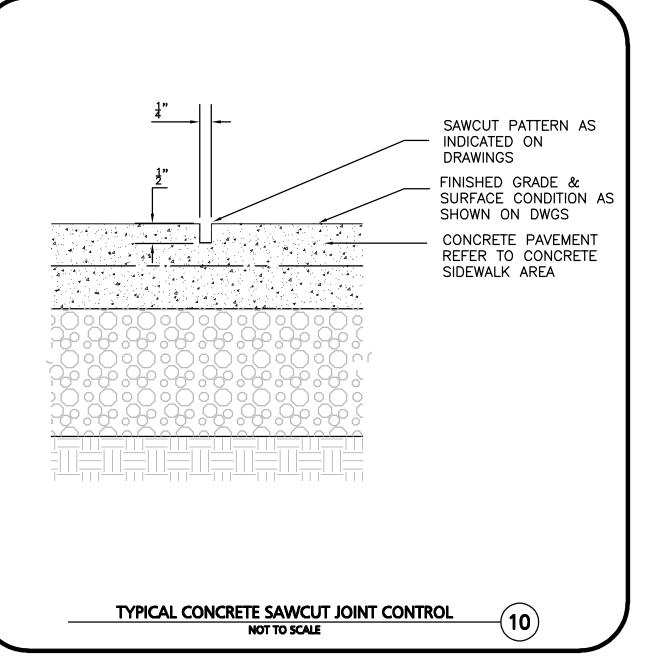


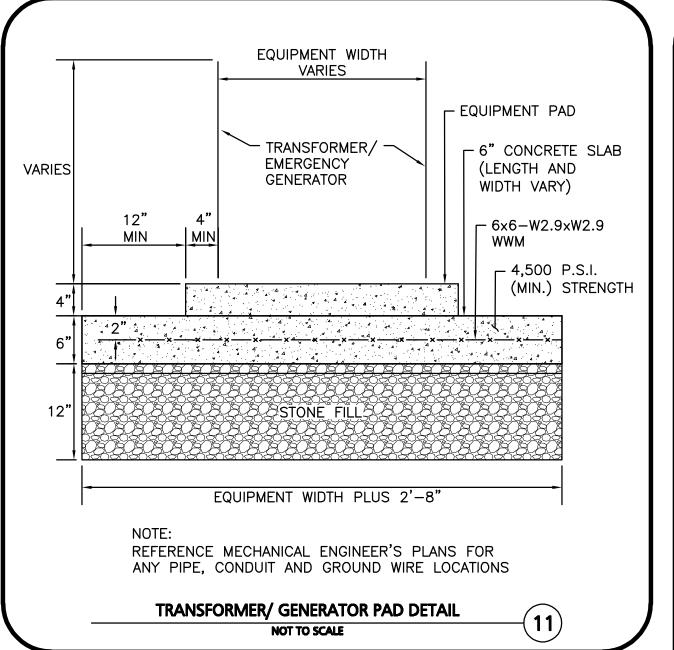


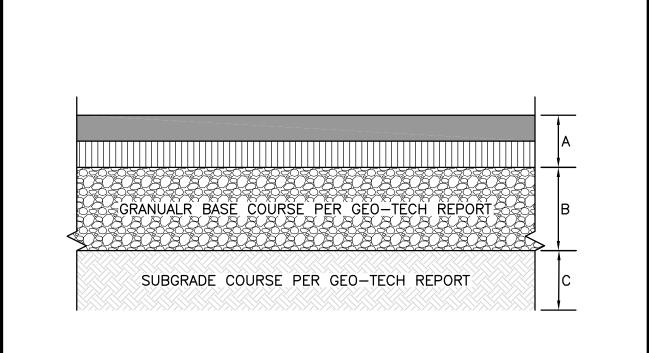












 COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95 PERCENT OF ASTM D1557 LABORATORY DENSITY.

PROOF—ROLL PREPARED SUBGRADE TO IDENTIFY SIFT POCKETS AND AREAS OF EXCESS YIELDING. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.

 CONTRACTOR SHALL COORDINATE SURFACE, BINDER, BASE, AND SUBBASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.

. BASE COURSE SHALL EXTEND 6 INCHES BEYOND PAVEMENT EDGE WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.

5. PAVEMENT EDGES SHALL BE TAMPED WHERE PAVEMENT DOES NOT ABUT CURB, WALL, STEPS, OR FIXED OBJECT.

6. ALL AGGREGATE FILL SHALL CONFORM WITH TABLE IV AND TABLE V OF THE REPORT ENTITLED "GEOTECHNICAL ENGINEERING REPORT" PREPARED BY MCGARDLE, GANNON ASSOCIATES, INC. DATED JULY 20, 2018.

GENERAL DUTY PAVING (17" PROFILE)

A= 1.5" ASPHALT CONCRETE - SURFACE COURSE (TOP COURSE)

1.5" ASPHALT CONCRETE - BINDER COURSE

B= 4" DENSE GRADED AGGREGATE COURSE

C= 10" SAND & GRAVEL BASE COURSE (PROCESSED GRAVEL FOR SUBBASE)

HEAVY DUTY PAVING — (20.5" PROFILE)

A= 2" ASPHALT CONCRETE — SURFACE COURSE (TOP COURSE)

2.5" ASPHALT CONCRETE — BINDER COURSE

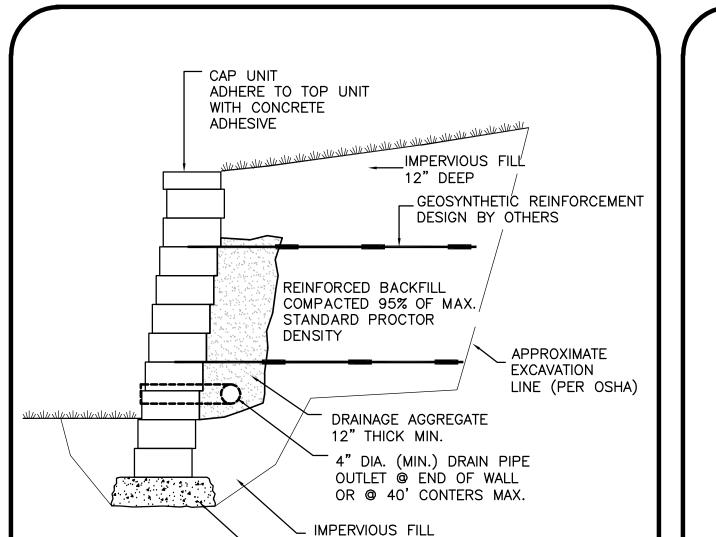
B= 4" DENSE GRADED AGGREGATE COURSE

C= 12" SAND & GRAVEL BASE COURSE

GRAVEL BASE COURSE

GENERAL & HEAVY DUTY
BITUMINOUS PAVEMENT

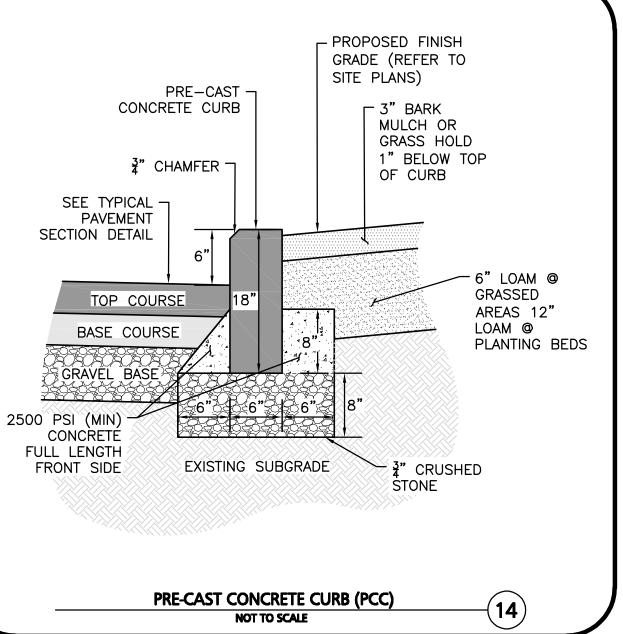
NOT TO SCALE

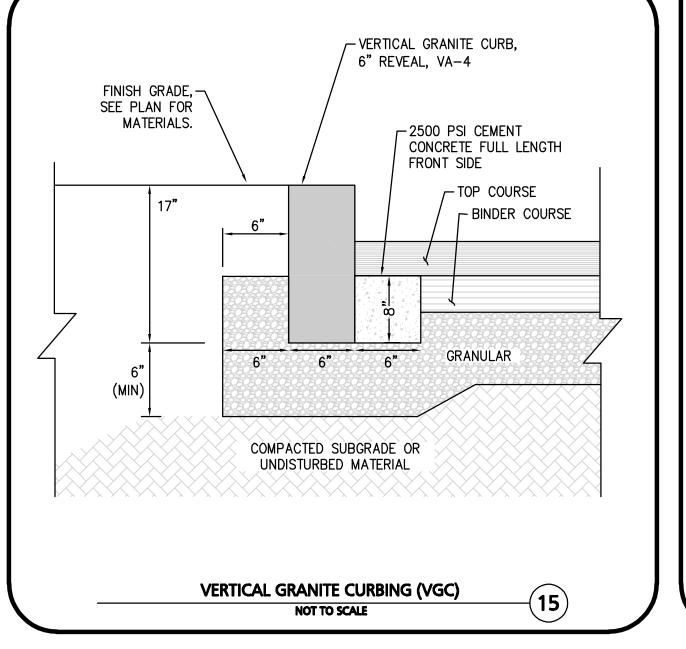


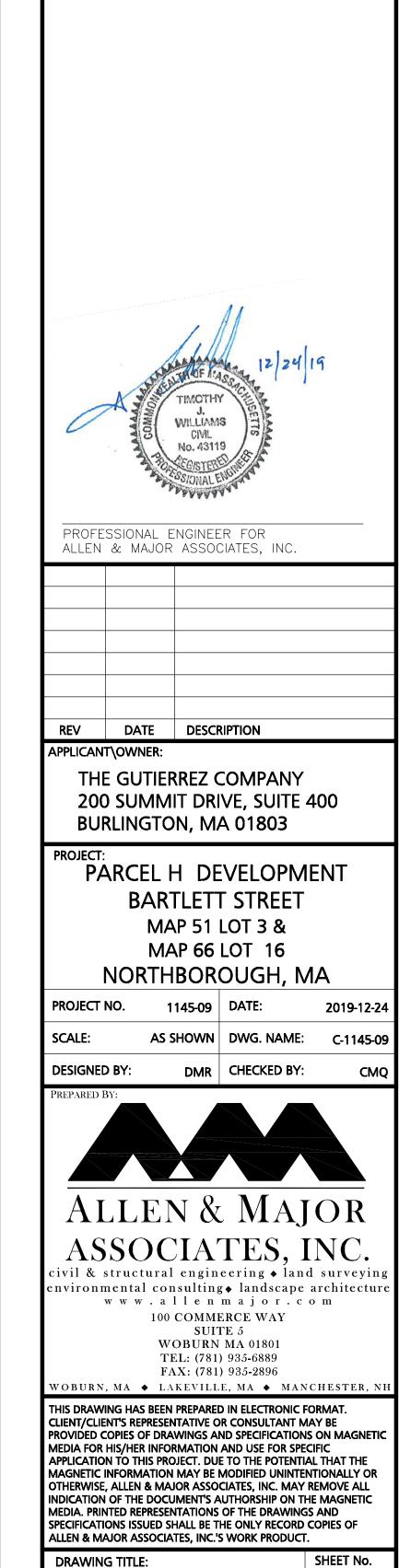
GRANULAR LEVELING PAD

6" THICK MIN.

TYPICAL SEGMENTAL BLOCK RETAINING WALL







<u>PRELIMINARY LIST OF PERMITS & WAIVERS</u>

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS

AND WAIVERS SOUGHT. AS THE DEVELOPMENT

PROGRESSES, ADDITIONAL WAIVERS AND

THE APPLICANT ANTICIPATES THE FOLLOWING

• SITE PLAN APPROVAL WITH SPECIAL

PERMIT FOR GWOPD (PLANNING BOARD)

TOWN OF NORTHBOROUGH, MA

PLANNING BOARD SITE PLAN APPROVAL

ID SPECIAL PERMIT APPROVAL WITH GWOPD

DESIGN REVIEW COMMITTEE APPROVAL

PERMITS MAY BE ADDED.

PERMITS SHALL BE REQUIRED:

ORDER OF CONDITIONS (NOI)

NORTHBOROUGH PERMITS:

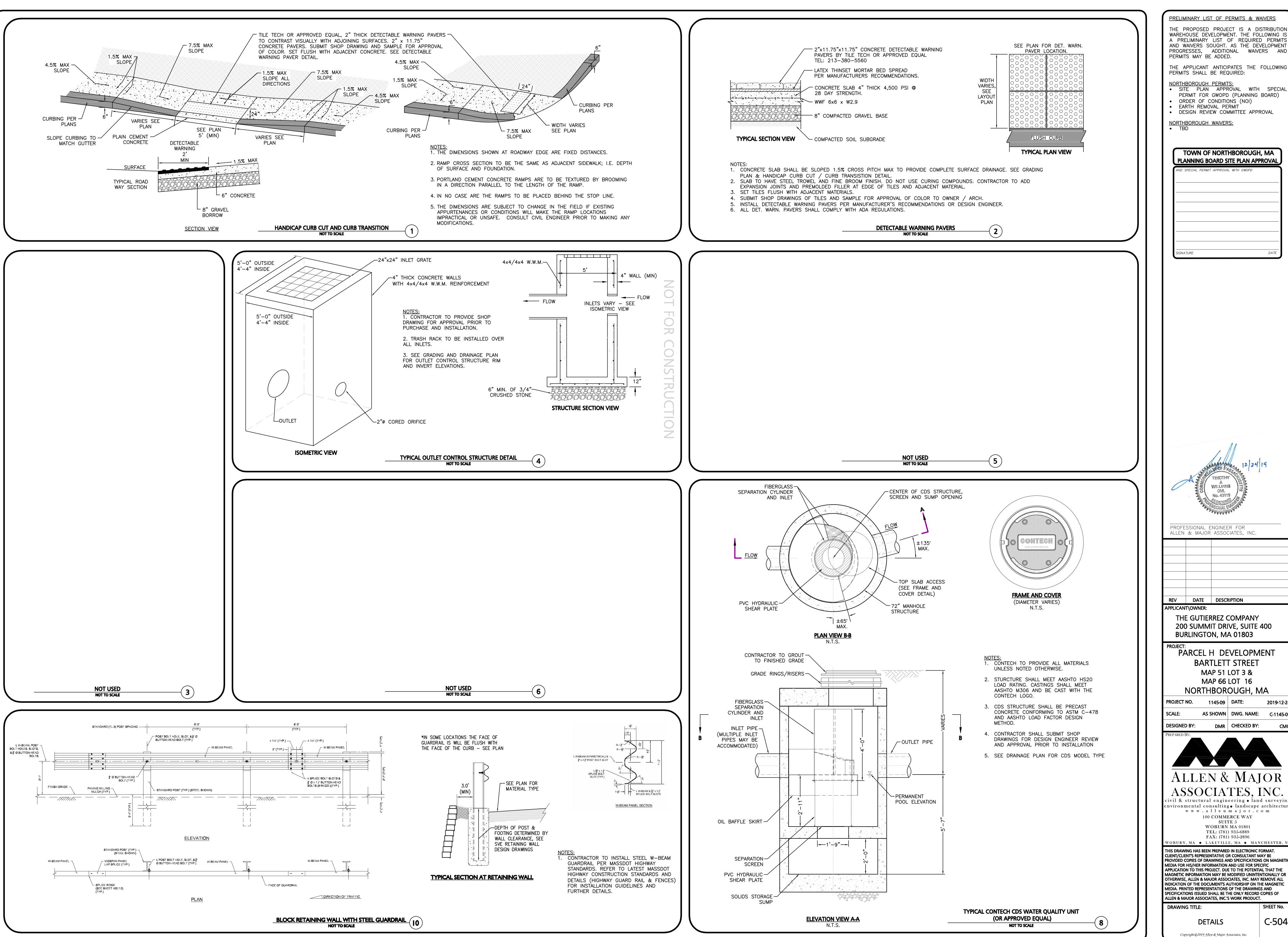
EARTH REMOVAL PERMIT

**NORTHBOROUGH WAIVERS:** 

 $N: \langle PROJECTS \rangle$  1145 $-09 \langle CIVIL \rangle DRAWINGS \rangle CURRENT \rangle C-1145-09 - DETAILS.DW$ 

NOT USED

NOT TO SCALE



THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

NORTHBOROUGH PERMITS: • SITE PLAN APPROVAL WITH SPECIAL

PERMIT FOR GWOPD (PLANNING BOARD) ORDER OF CONDITIONS (NOI) EARTH REMOVAL PERMIT

DESIGN REVIEW COMMITTEE APPROVAL

TOWN OF NORTHBOROUGH, MA PLANNING BOARD SITE PLAN APPROVAL ND SPECIAL PERMIT APPROVAL WITH GWOPD

PROFESSIONAL ENGINEER FOR

REV DATE DESCRIPTION

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT **BARTLETT STREET** MAP 51 LOT 3 & MAP 66 LOT 16 NORTHBOROUGH, MA

AS SHOWN DWG. NAME: C-1145-09 DMR | CHECKED BY:



ALLEN & MAJOR ASSOCIATES, INC.

ivil & structural engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com 100 COMMERCE WAY SUITE 5

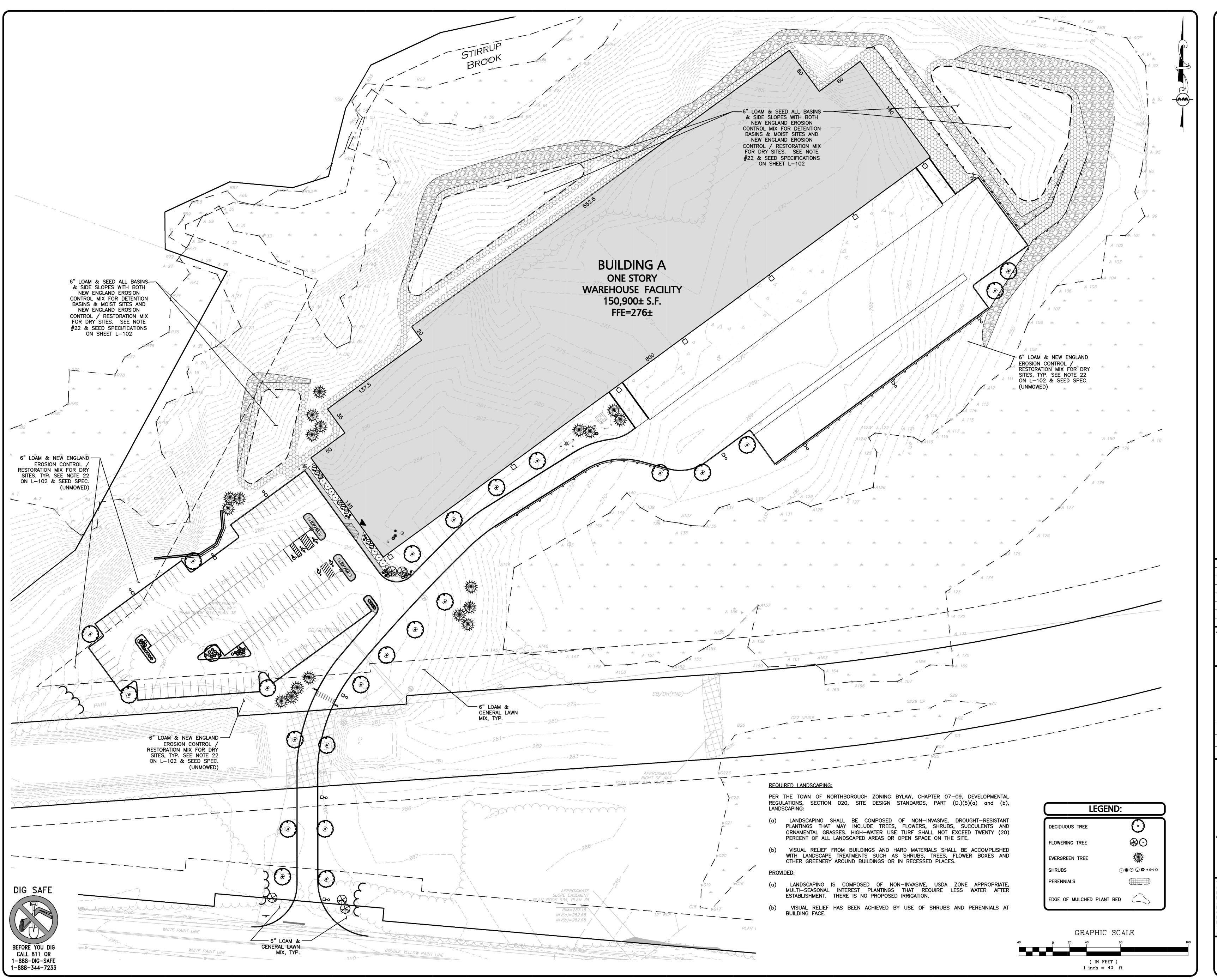
WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NI THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE

PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

C-504

**DETAILS** 



THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

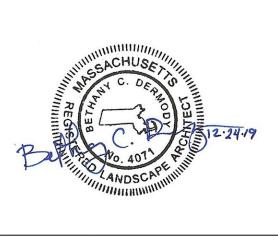
SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)

OPPER OF CONDITIONS (NO.)

ORDER OF CONDITIONS (NOI)
 EARTH REMOVAL PERMIT
 DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:

AND SPECIAL	PERMIT APPROV	'AL WITH GWOPD	
-			
	<u>.</u>		



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

9				
REV	DATE	DESCRIPTION		
APPLICANT\OWNER:				

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3A &
MAP 66 LOT 2B
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-11-13

SCALE: 1"-40' DWG. NAME: C-1145-09

DESIGNED BY: DMR CHECKED BY: CMQ



#### ALLEN & MAJOR ASSOCIATES, INC.

civil & structural engineering • land surveying environmental consulting • landscape architecture w w w w . a llenmajor.com

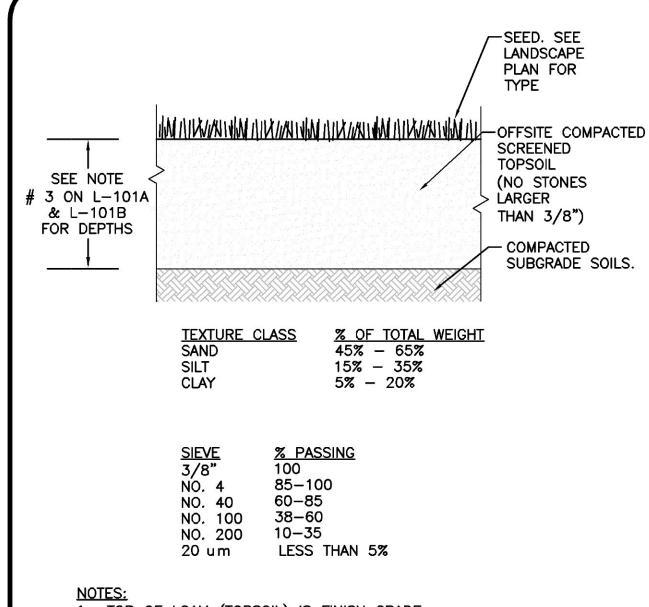
100 COMMERCE WAY
SUITE 5

WOBURN MA 01801 TEL: (781) 935-6889 FAX: (781) 935-2896 WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT.
CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE
PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC
MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC
APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE
MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR
OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL
INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC
MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND
SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF
ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

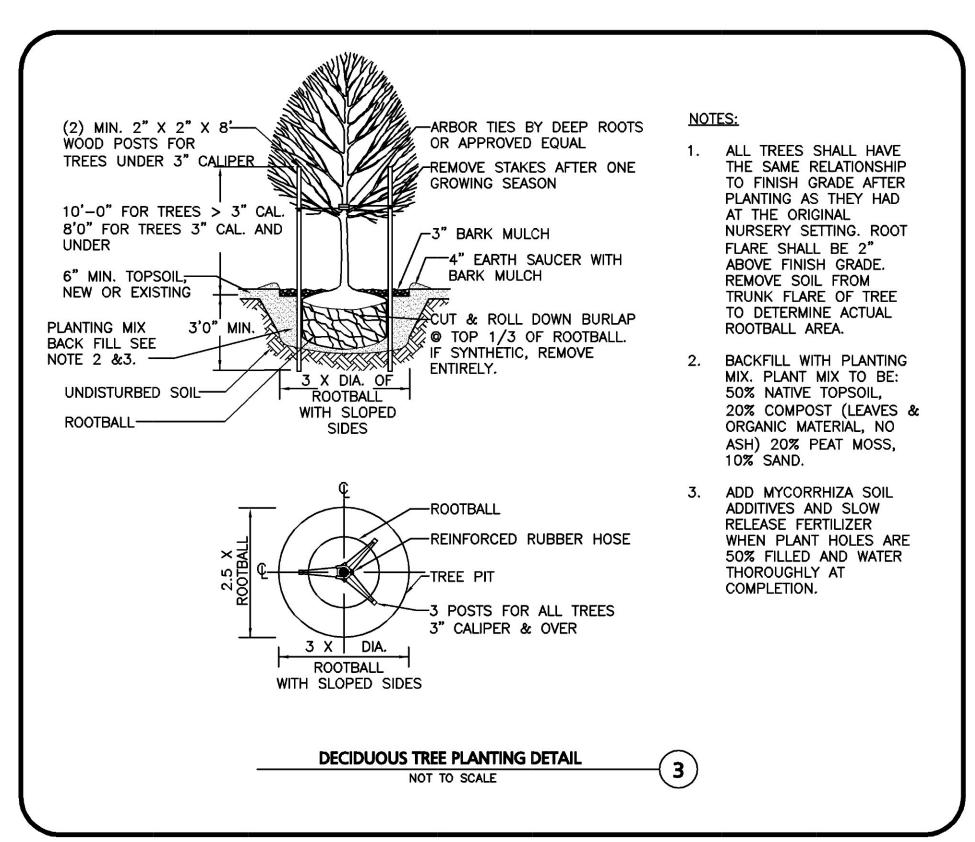
DRAWING TITLE: SI

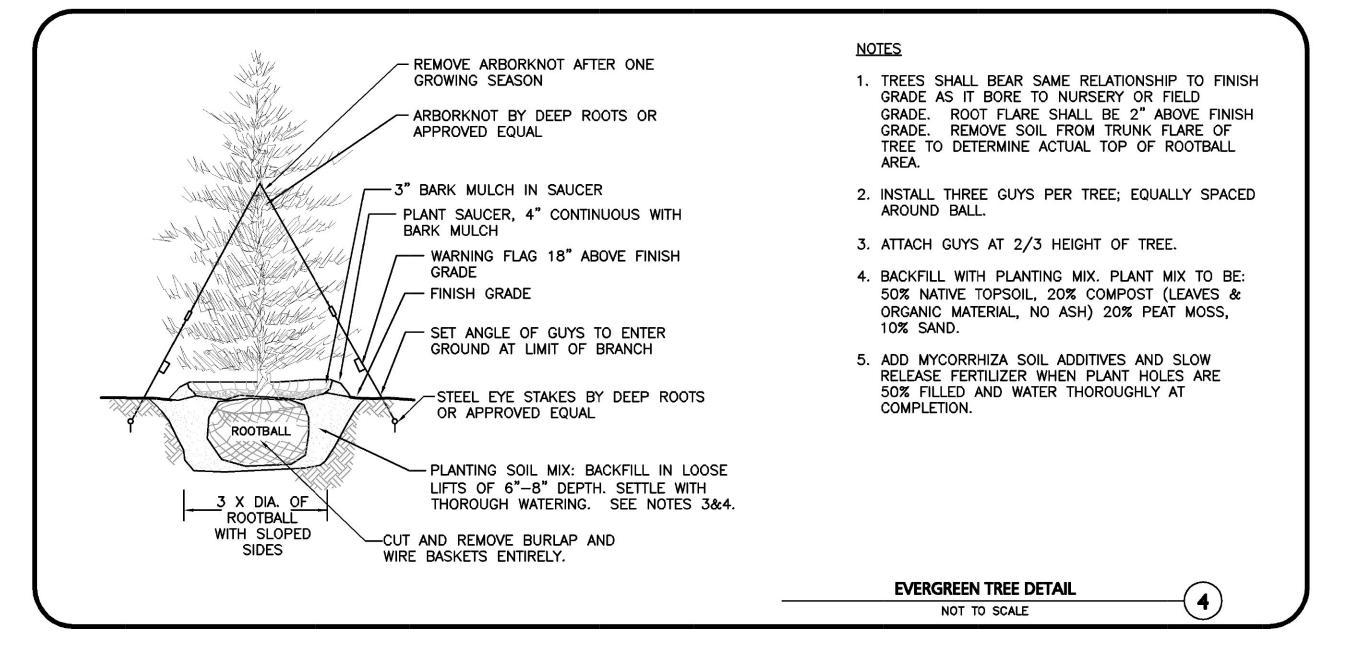
LANDSCAPE PLAN



- 1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
- 2. ALL TOPSOIL SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. ALL TOPSOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM AN OFFSITE WELL-DRAINED. ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
- 3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED <u>PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT. IT IS AT</u> CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE TOPSOIL DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
- 4. ALL TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, SEEDED AREAS, TREES, SHRUBS, & PERENNIALS NOT TO SCALE





#### LANDSCAPE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF NORTHBOROUGH, MA.

- 2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE, FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1–888–344–7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF NAY CONFLICTS IN WRITING.
- 4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
- 10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR STEEPER (GREATER) SLOPES SHALL BE PROTECTED WITH JUTE EROSION CONTROL NETTING.
- 11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- 12. TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- 13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, GROUND COVER AREAS SHALL RECEIVE 1" OF PINE
- 14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- 15. ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- 16. CONTRACTOR RESPONSIBLE FOR WATERING, MAINTENANCE, FERTILIZING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- 17. ALL PARKING ISLANDS PLANTED WITH SHRUBS OR PERENNIALS SHALL HAVE 24" OF TOPSOIL, FINISH GRADE SHALL BE EQUAL TO
- 18. SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL
- 19. AN MINIMUM 18" WIDE BARRIER OF 1" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BED WHICH ABUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00). INSTALL 6" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED. PROVIDE SHOP DRAWINGS TO A&M FOR APPROVAL PRIOR TO PURCHASE OF PEASTONE, MIRAFI WEED FABIRC & STEEL EDGING.
- 20. AS THERE IS NO PROPOSED IRRIGATION SYSTEM, AFTER PLANTINGS & LAWNS & SEEDED AREAS HAVE BEEN INSTALLED, LANDSCAPE CONTRACTOR RESPONSIBLE TO TEMPORARILY WATER ALL INSTALLED PLANTINGS, SEEDED AREAS, & LAWN AREAS MIN. 4 TIMES A WEEK DURING INITIAL ESTABLISHMENT PERIOD OF 6 MONTHS AFTER ALL LANDSCAPING IS INSTALLED.
- 21. PRIOR TO LAYING TOPSOIL, ALL SUBSOIL (BELOW PROPOSED TOPSOIL) TO BE TILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- 22. SEEDING OF DETENTION AREAS & OTHER SLOPE AREAS SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPACTED. IT IS IMPORTANT, THAT THE DETENTION BASIN BE SEEDED AT THE BEGINNING OF THE PROJECT & PRIOR TO ANY DRAINAGE BEING DIRECTED TOWARDS THE BASIN. THE SEED AT DETENTION AREAS & OTHER SLOPED ARES WILL NEED A MIN. OF 6 MONTHS TO INITIALLY ESTABLISH PRIOR TO THE DETENTION BASIN BEING UTILIZED SO THAT THERE IS NOT EROSION & SLOPE FAILURE. MIX BOTH THE 2 SEED MIXES TOGETHER AT A RATIO OF 50/50 (NEW ENGLAND EROSION CONTROL/ RESTORATION MIX FOR DRY SITES) AND SPREAD AT A RATIO OF 1 LB PER 600 SQ. FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT.

ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCONUT FIBER JUTE MESH NETTING ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE—GRADING AND RE—SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS AT NO ADDITIONAL COST TO OWNER & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO

AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY) SO THAT SEED IS KEPT MOIST. FOR SPREADING OF THE SEED WITH DRY DETENTION BASINS. WATER LEVELS MAY BE LOWERED IN THE DETENTION AREAS BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ANY DEWATERING METHODS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

SPREAD THE NEW ENGLAND SEED MIXES AT AREAS SHOWN ON THE PLAN. SPREAD ALL MIXES AT A RATIO OF 1 LB PER 600 SQ. FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT.

#### ADDITIONAL SEED MIX SPECIFICATIONS FOR DETENTION BASINS, AND SLOPES AREAS: (AS NOTED ON THE PLAN)

#### NEW ENGLAND WILDFLOWER MIX

(BY	NEW ENGLAND WETLAND PLANTS INC.):	
1.	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM
2.	CREEPING RED FESCUE	FESTUCA RUBRA
3.	INDIAN GRASS	SORGHASTUM NUTANS
4.	PARTRIDGE PEA	CHAMAECRISTA FASCICULATE
5.	CANADA WILD RYE	ELYMUS CANADENSIS
6.	VIRGINIA WILD RICE	ELYMUS VIRGINICUS
7.	WILD BLUE LUPINE	LUPINUS PERENNIS
8.	GOLDEN ALEXANDERS	ZIZIA AUREA
9.	OX EYE SUNFLOWER	HELIOPSIS HELIANTHOIDES
10.	BLACKEYED SUZAN	RUDBECKIA HIRTA
11.	NEW ENGLAND ASTER	ASTER NOVAE—ABGLIAE
12.	WILD BERGAMOT	MONARDA FISTULASA
13.	SMOOTH BLUE ASTER	ASTER LAEVIS
14.	EVENING PRIMROSE	OENOTHERA BIENNIS
15.	NEW YORK IRONWEED	VERNONIA NOVEBORACENSIS
16.	VIRGINIA WILD RYE VIRGINIA WILD RICE WILD BLUE LUPINE GOLDEN ALEXANDERS OX EYE SUNFLOWER BLACKEYED SUZAN NEW ENGLAND ASTER WILD BERGAMOT SMOOTH BLUE ASTER EVENING PRIMROSE NEW YORK IRONWEED GRASS LEAVED GOLDENROD EARLY GOLDENROD	EUTHAMIA GRAMINIFOLIA
17.	EARLY GOLDENROD	SOLIDAGO JUNCEA

 UPLAND BENTGRASS CREEPING RED FESC 6. ANNUAL RYEGRASS

17. EARLY GOLDENROD NEW ENGLAND WETMIX (BY NEW ENGLAND WETLAND PLANTS INC.):

MUD PLANTAIN ALISMA PLANTAGO-AQUATICA SWAMP MILKWEED ASCLEPIAS INCARNATA NEW YORK ASTER ASTER NOVI-BELGII NODDING BUR MARIGOLD BIDENS CERNUA BRISTLY/COSMOS SEDGE CAREX COMOSA FRINGED SEDGE; NODDING CAREX CRINITA HOP SEDGE CAREX LUPULINA . LURID SEDGE (SHALLOW) CAREX LURIDA CAREX SCOPARIA . BLUNT BROOM SEDGE 10. FOX SEDGE CAREX VULPINOIDEA 11. SPOTTED JOE PYE WEED EUPATORIUM MACULATUM EUPATORIUM PERFOLIATUM GLYCERIA CANADENSIS GLYCERIA STRIATA

12. BONESET 13. RATTLESNAKE GRASS 14. FOWL MANNAGRASS 15. SOFT RUSH 16. MONKEY FLOWER 17. SENSITIVE FERN 18. GREEN BULRUSH 19. WOOL GRASS 20. SOFT STEM BULRUSH 21. BLUE VERVAIN

8. LITTLE BLUESTEM

Ph: (413) 548-8000 | Fx: (413) 549-4000 | info@newp.com New England Wetland Plants, Inc. 820 West Street Amherst, MA 01002

SEE SPECIFICATIONS AT WWW.NEWP.COM OR

#### NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES (BY NEW ENGLAND WETLAND PLANTS INC.):

<b>\-</b> .		
1.	UPLAND BENTGRASS	AGROSTIS PERENNANS
2.	ROUGH BENTGRASS/TICKLEGRASS	AGROSTIS SCABRA
	BLUE GRAMA	BOUTELOUA GRACILIS
4.	CANADA WILD RYE	ELYMUS CANADENSIS
5.	CREEPING RED FESCUE	FESTUCA RUBRA
6.	ANNUAL RYEGRASS (NATURALIZED)	LOLIUM MULTIFLORUM
7.	PERRENIAL RYEGRASS (NATURALIZED)	LOLIUM PERENNE
	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM
9.	INDIAN GRASSS	SORGHASTRUM NUTANS

LOAM AND SEEDING NOTES (GENERAL LAWN MIX): CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER

JUNCUS EFFUSUS

MIMULUS RINGENS

SCIRPUS VALIDUS

MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

VERBENA HASTATA

ONOCLEA SENSIBILIS

SCIRPUS ATROVIRENS

SCIRPUS CYPERINUS

#### GENERAL LAWN MIX

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.

- 2. ALL SEEDING (INCLUDING NEW ENGLAND WETLAND MIX SEEDS) TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCONUT FIBER JUTE MESH NETTING ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS AT NO ADDITIONAL COST TO OWNER & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER. AFTER SEEDING, SEEDED AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY FOR 2 MONTHS (USE NO HAY) SO THAT SEED IS KEPT MOIST.
- 3.COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- 4. LAWN AREAS TO BE SEEDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET. 5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.



PRELIMINARY LIST OF PERMITS & WAIVERS

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS

AND WAIVERS SOUGHT. AS THE DEVELOPMENT

PERMITS MAY BE ADDED.

**NORTHBOROUGH PERMITS:** 

EARTH REMOVAL PERMIT

**NORTHBOROUGH WAIVERS:** 

PERMITS SHALL BE REQUIRED:

ORDER OF CONDITIONS (NOI)

DESIGN REVIEW COMMITTEE APPROVAL

PROGRESSES, ADDITIONAL WAIVERS AND

THE APPLICANT ANTICIPATES THE FOLLOWING

SITE PLAN APPROVAL WITH SPECIAL

PERMIT FOR GWOPD (PLANNING BOARD)

TOWN OF NORTHBOROUGH, MA

PLANNING BOARD SITE PLAN APPROVAL

ND SPECIAL PERMIT APPROVAL WITH GWOPD

REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

#### REV DATE DESCRIPTION APPLICANT\OWNER:

THE GUTIERREZ COMPANY 200 SUMMIT DRIVE, SUITE 400 BURLINGTON, MA 01803

PARCEL H DEVELOPMENT BARTLETT STREET MAP 51 LOT 3A & MAP 66 LOT 2B NORTHBOROUGH, MA

1"=40' DWG. NAME: C-1145-0 DESIGNED BY: DMR | CHECKED BY:



civil & structural engineering ◆ land surveyin environmental consulting • landscape architecture www.allenmajor.com

100 COMMERCE WAY SUITE 5 WOBURN MA 01801

TEL: (781) 935-6889

FAX: (781) 935-2896 VOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, N

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OF OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND

SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF

DRAWING TITLE: LANDSCAPE DETAILS

ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

Copyright ©2019 Allen & Major Associates, Inc.
All Rights Reserved

DIG SAFE CALL 811 OR 1-888-DIG-SAFE 1-888-344-7233



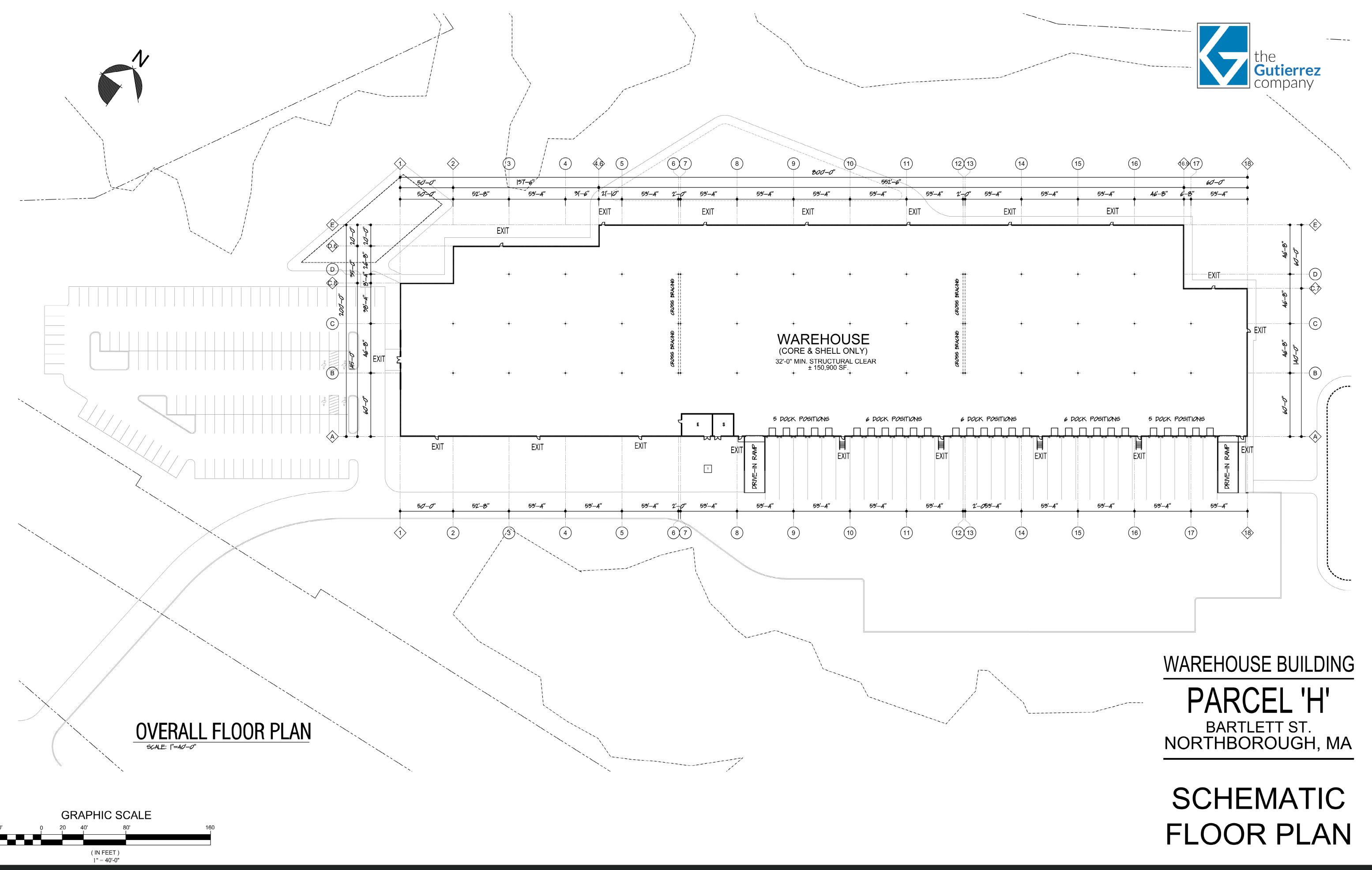


WAREHOUSE BUILDING

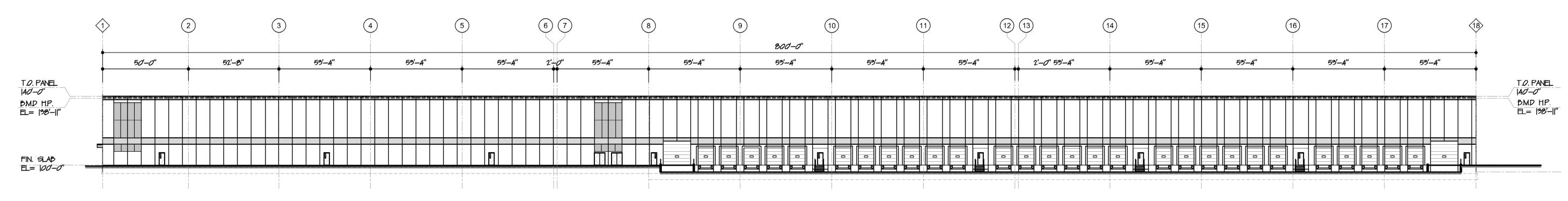
PARCEL 'H'

BARTLETT ST. NORTHBOROUGH, MA

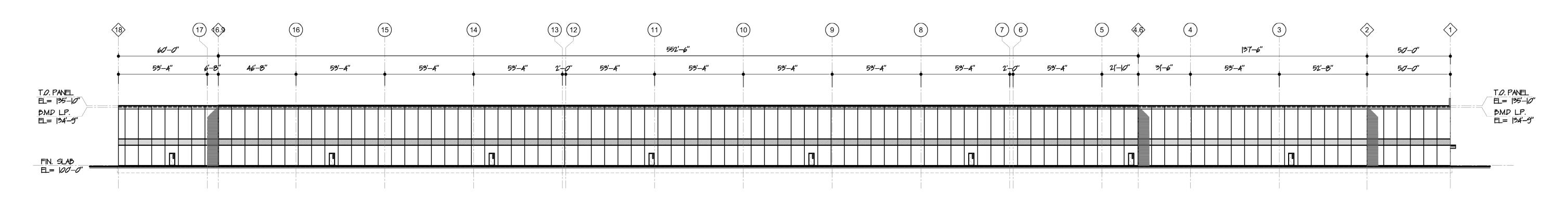
RENDERING



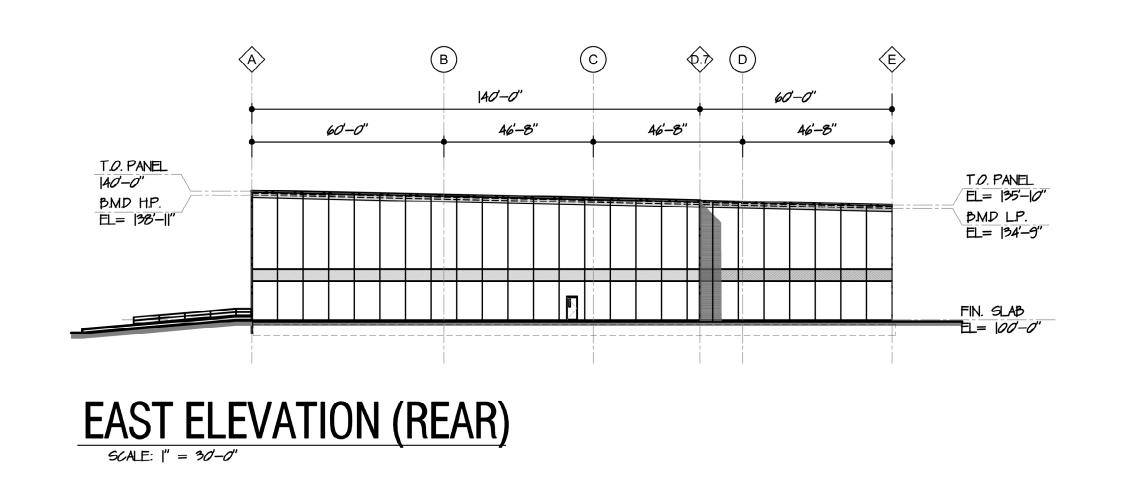


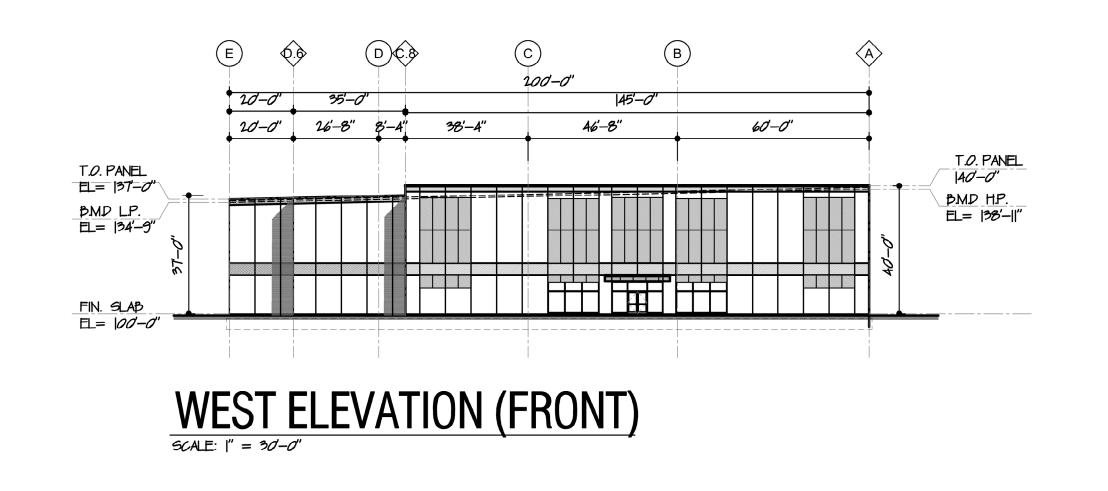


## SOUTH ELEVATION (SIDE)



# NORTH ELEVATION (SIDE) SCALE: |" = 30-0"





WAREHOUSE BUILDING
PARCEL'H'

BARTLETT ST.
NORTHBOROUGH, MA

SCHEMATIC ELEVATIONS

