

SITE DEVELOPMENT PLANS FOR
PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 & MAP 66 LOT 16
NORTHBOROUGH, MA



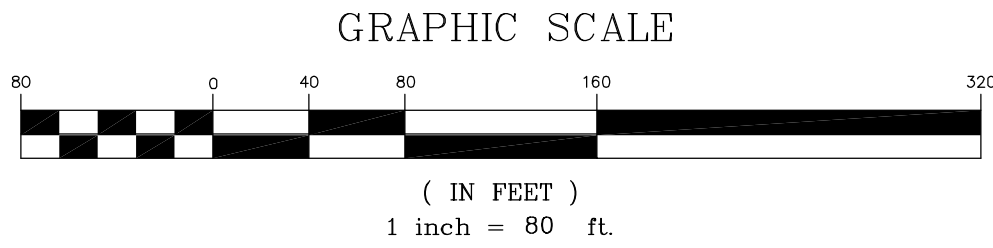
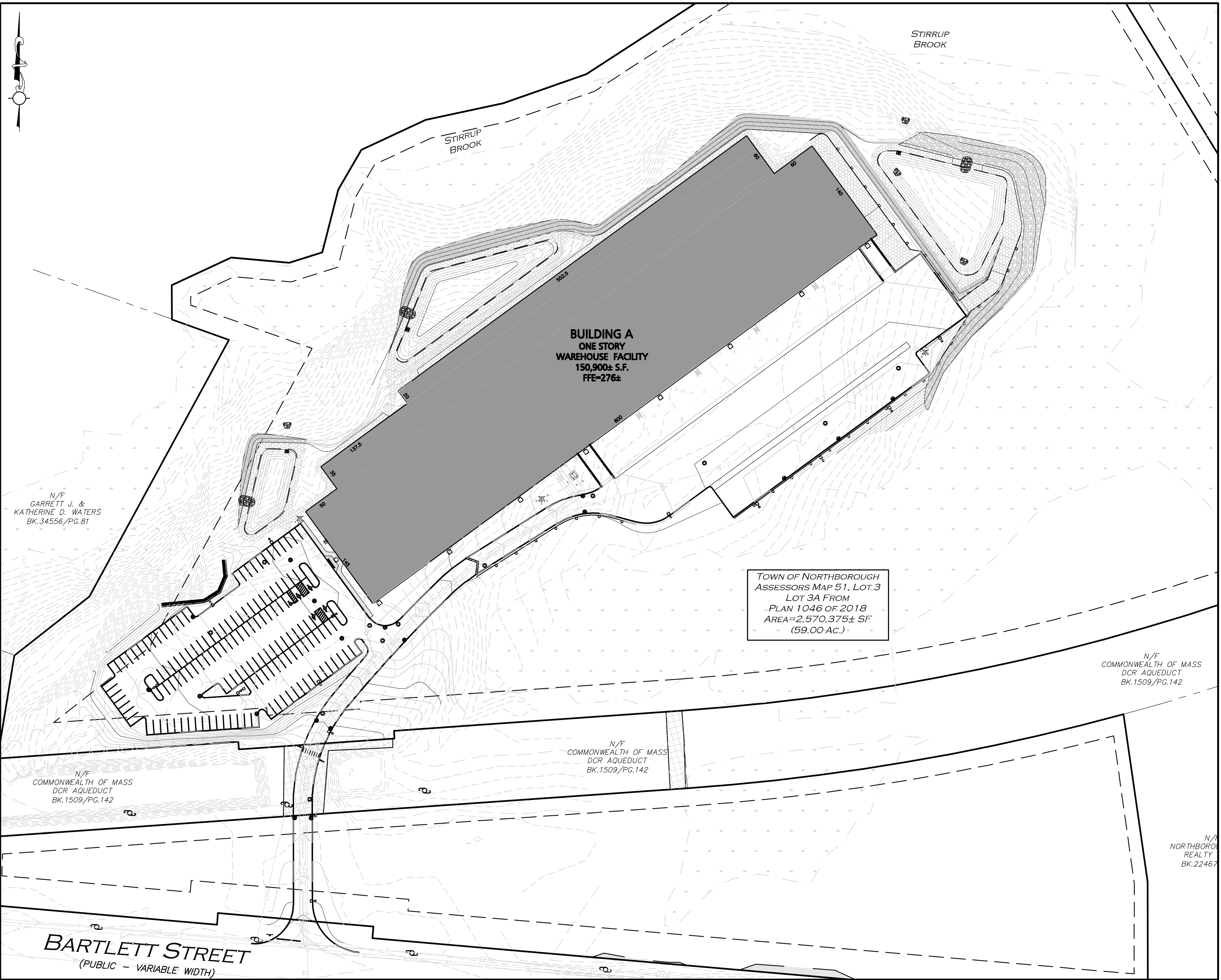
LOCUS MAP
NOT TO SCALE

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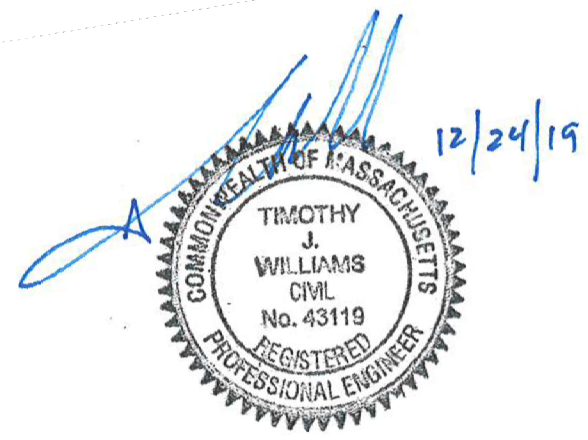
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LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
CIVIL, SURVEY AND LANDSCAPE DRAWINGS			
COVER SHEET	—	12/24/2019	-
ABBREVIATIONS & NOTES	C-001	12/24/2019	-
ABBREVIATIONS & NOTES	C-002	12/24/2019	-
EXISTING CONDITIONS	V-101	12/24/2019	-
RESOURCE AREAS PLAN	C-100A	12/24/2019	-
RESOURCE AREAS PLAN	C-100B	12/24/2019	-
EROSION CONTROL & SITE PREPARATION PLAN	C-101	12/24/2019	-
LAYOUT & MATERIALS PLAN	C-102A	12/24/2019	-
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CIVIL DETAILS	C-501	12/24/2019	-
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CIVIL DETAILS	C-503	12/24/2019	-
CIVIL DETAILS	C-504	12/24/2019	-
LANDSCAPE PLAN	L-101	12/24/2019	-
LANDSCAPE DETAILS	L-102	12/24/2019	-
ARCHITECTURAL PLANS			
WAREHOUSE BUILDING RENDERING	DS 3.00	12/09/2019	-
SCHEMATIC FLOOR PLAN	DS 2.01	11/11/2019	-
SCHEMATIC ELEVATIONS	DS 2.02	11/11/2019	-



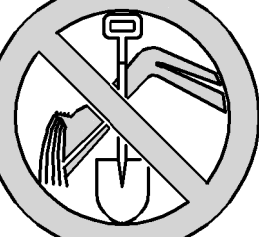
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR LOCAL APPROVAL: DECEMBER 24, 2019

GENERAL NOTES:

- FOR EXISTING CONDITIONS SURVEY, SEE PLAN ENTITLED "EXISTING CONDITIONS", AS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DATED DECEMBER 24 2018, ORIGINAL SCALE 1"=40'.
- ZONING DISTRICT IS INDUSTRIAL (I).
- OVERALL LOT SIZE: 66.08± ACRES, INCLUDING TOWN OF NORTHBOROUGH ASSESSORS MAP 51, LOT 3 (59.00± ACRES) AND MAP 66 PARCEL 16 (7.08± ACRES).
- DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
- DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- ALL MAIN BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AB REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING THE WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL AND SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTHBOROUGH'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAKING.
- EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION AND DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- EXISTING AND PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.
- CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS. PERMITS FROM THE PLANNING BOARD OR TOWN COUNCIL, AND AN ORDER OF CONDITIONS FROM THE NORTHBOROUGH CONSERVATION COMMISSION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR HAZARDOUS MATERIALS ONSITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DOES NOT MEET THE ORDINARY FILL SPECIFICATIONS OR LOAM SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES AS: Boulders, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE DIRECTOR OF INSPECTIONAL SERVICES AND/OR THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS AND TOWN COUNCIL. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE TOWN OF NORTHBOROUGH ZONING CODE.

DIG SAFE



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GRADING & DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAWING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, COMPACTOR PAD, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
- TEMPORARY STRAW BALE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
- ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES ARE TO BE CLEARED OUT PRIOR TO FINAL APPROVAL TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS.
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING FRAME AND COVER AND SHALL BE LABELED "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE AND CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
- ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.

UTILITY NOTES:

- THE LATEST STANDARDS OF THE TOWN OF NORTHBOROUGH STANDARDS AND REQUIREMENTS SHALL BE FOLLOWED AS APPLICABLE WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF NORTHBOROUGH PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE TOWN OF NORTHBOROUGH SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK, AS APPLICABLE. WATER LINE WORK WILL BE INSPECTED BY TOWN OF NORTHBOROUGH PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN OF NORTHBOROUGH, AS APPLICABLE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL & PLUMBING DRAWINGS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY EXISTING UTILITIES 4 INCHES OR LARGER ARE TO BE ABANDONED IN PLACE WHERE FINAL GRADES MAINTAIN AT LEAST 4 FEET OF COVER TO CROWN OF PIPE TO BE ABANDONED WITH LESS THAN 4 FEET OF COVER TO FINAL GRADE SHALL BE REMOVED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUS OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - SEWER - PVC (POLYVINYL CHLORIDE), SDR 35
 - DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
 - DRAIN - RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
 - WATER - C.L.D.I. (CEMENT LINED DUCTILE IRON) (CLASS 52)
- REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES TO BE REMOVED AND UTILITY ABANDONMENT.
- BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF NORTHBOROUGH THE APPROPRIATE PERMIT AND INSPECTION FEES.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

EROSION & SEDIMENTATION CONTROL NOTES (CONTINUED):

- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL STRAW BALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NO. 10 AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA. THE NPDES PERMIT FOR STORM WATER DISCHARGE, & CONSTRUCTION GENERAL PERMIT NO. 10 WILL BE REQUIRED TO BE SUBMITTED AT LEAST 14 DAYS PRIOR TO COMMENCING CONSTRUCTION BY THE CONTRACTOR.
- OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NO. 10. WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN OF NORTHBOROUGH, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.
- APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF NORTHBOROUGH, MASSDEP & EPA CONSTRUCTION GENERAL PERMIT STANDARDS, AS APPLICABLE. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE TOWN OF NORTHBOROUGH AND USDA SOIL CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.
- A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
- IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION, ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURES CAPACITY TO SETTLE AND FILTER FLOW OR IS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESERVOIR AND MINIMIZING SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
- INITIATE STABILIZATION OF EXPOSED AREAS IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.
- ALL DISCHARGES FROM POLLUTION SOURCES ARE PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, SOLVENTS, ADHESIVES, CURING COMPOUNDS, FLUTANTS USED FOR MAINTENANCE OF VEHICLES, AND EQUIPMENT, SOAPS & DETERGENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SOIL FROM THE SITE IN ACCORDANCE WITH BOTH THE MANUFACTURER'S RECOMMENDATIONS, FEDERAL, STATE, AND LOCAL REQUIREMENTS. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM WETLANDS, SURFACE WATERS, SEDIMENT BASINS, AND OTHER SENSITIVE AREAS. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT MEASURE OF ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM, PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS, PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
- ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
- ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLUCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE, USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.
- IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
- INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES. ALL AREAS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE, WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL. THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.
- AS REQUIRED BY THE NORTHBOROUGH CONSERVATION COMMISSION, CONTRACTOR MUST PARK AND STORE ALL CONSTRUCTION EQUIPMENT OUTSIDE THE TOWN OF NORTHBOROUGH 150 FOOT WETLANDS BUFFER AT THE END OF EACH DAY. ITEMS TO BE ADDITIONALLY COMPLETED OUTSIDE OF THE TOWN OF NORTHBOROUGH 150 FOOT WETLANDS BUFFER INCLUDES FUEL STORAGE, REFUELING OPERATIONS, CLEANING OF EQUIPMENT (INCLUDING THE WASHING / RINSING OF CONCRETE TRANSPORTS)

MAINTENANCE:

- ALL MEASURES STATED ON THE STORMWATER POLLUTION PREVENTION PLANS, SHALL BE MAINTAINED FULLY FUNCTIONAL CONDUCTED BY CONTRACTOR UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A HEALTHY STAND OF GRASS IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- ALL SEDIMENT CONTROLS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE TUBULAR SEDIMENT CONTROLS WHEN IT REACHES HALF THE HEIGHT OF THE CONTROL MEASURE OR AS REQUESTED BY THE OWNER OR ENGINEER.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

PRELIMINARY LIST OF PERMITS & WAIVERS

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THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

- SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)
- ORDER OF CONDITIONS (NO)
- EARTH REMOVAL PERMIT
- DESIGN REVIEW COMMITTEE APPROVAL

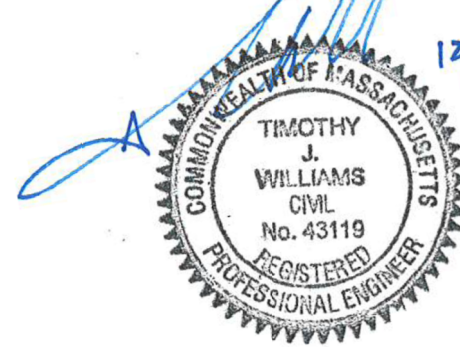
NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA
PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE	DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:

THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:

PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-12-24

SCALE: N.T.S. DWG. NAME: C-1145-09

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:



Allen & Major
Associates, Inc.

civil & structural engineering • land surveying
environmental consulting • landscape architecture

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DRAWING TITLE: SHEET No.

ABBREVIATIONS & NOTES C-001

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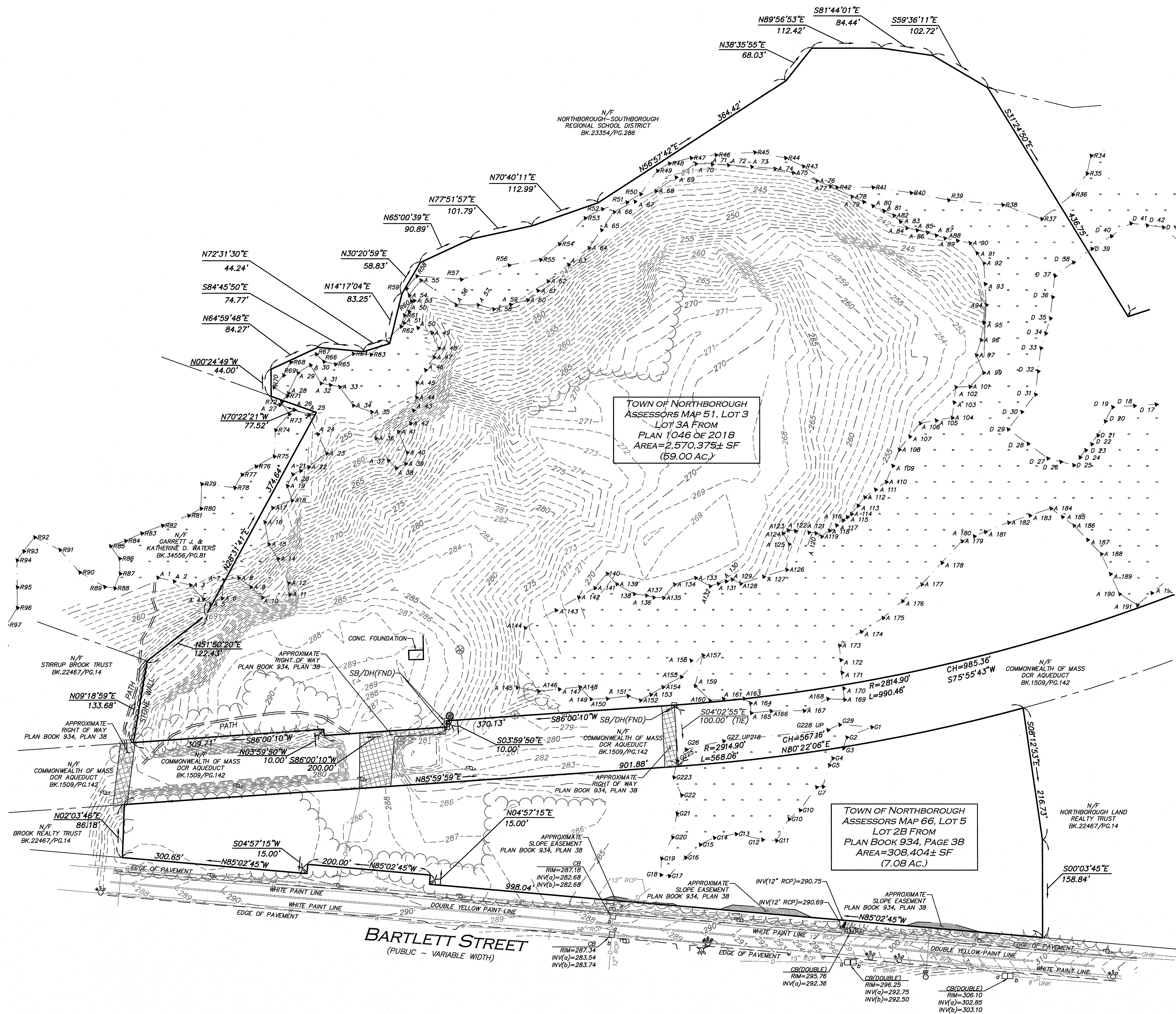
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DATE _____





LOCUS MAP
(NOT TO SCALE)



LEGEND	
STONE BOUND (SB)	□
CATCH BASIN (CB)	□
UTILITY POLE	○
UTILITY POLE W/ RISER	○
UTILITY POLE W/ LIGHT	○
GUY WIRE	—
FIRE HYDRANT	⊕
WATER GATE	⊕
GAS GATE	⊕
INVERT (INV)	⊕
WELL	⊕
WETLAND FLAG	⊕
WETLAND AREA	⊕
EASEMENT LINE	—
1' CONTOUR	—
5' CONTOUR	—
PROPERTY LINE	—
ABUTTERS LINE	—
TOWN LINE	—
STONE WALL	—
TREE LINE	—
EDGE OF PAVEMENT	—
CURB	—
WATER LINE	—
DRAIN LINE	—
GAS LINE	—
TELEPHONE LINE	—
OVERHEAD WIRES	—
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
REINFORCED CONCRETE PIPE	RCP
STONE BOUND W/ DRILL HOLE	SB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

LOCUS REFERENCES

- TOWN OF NORTHBOROUGH ASSESSORS MAP 66, LOT 5
- DEED BOOK 59095, PAGE 396
- PLAN BOOK 934, PAGE 38
- OWNER OF RECORD: 301 BARTLETT STREET LLC
- TOWN OF NORTHBOROUGH ASSESSORS MAP 51, LOT 3
- DEED BOOK 23107, PAGE 356
- PLAN 1046 OF 2018 (MIDDLESEX SOUTH REGISTRY OF DEEDS)
- OWNER OF RECORD: NORTHBOROUGH LAND REALTY TRUST

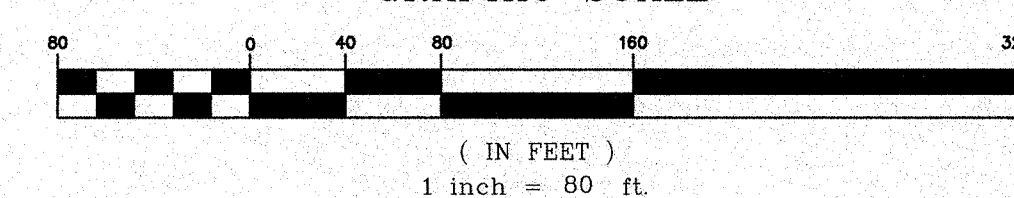
PLAN REFERENCES

- PLAN 13246 OF 1999
- LAND COURT CASE 4247H
- PLAN BOOK 246, PLAN 53
- PLAN BOOK 760, PLAN 55
- PLAN 999 OF 2008
- PLAN 945 OF 2003
- PLAN BOOK 335, PLAN 14
- PLAN BOOK 934, PLAN 38
- PLAN BOOK 934, PLAN 38
- PLAN 1046 OF 2018
- COMMONWEALTH OF MASSACHUSETTS HARBOR AND LAND COMMISSION, ATLAS OF THE BOUNDARIES OF THE CITY OF MARLBOROUGH DATED 1908.

NOTES

- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER COUNTY REGISTRY OF DEEDS IN WORCESTER, MA AND MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- WETLANDS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC ON MAY 20, 2019 AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES, INC.

GRAPHIC SCALE



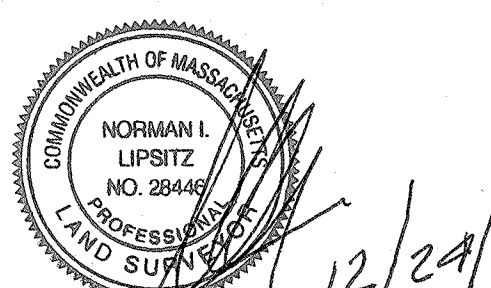
N:\PROJECTS\1145-09\SURVEY\DRAWINGS\CURRENT\5-1145-09-EC.DWG

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JUNE 13, 2019 AND DECEMBER 16, 2019. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF NORTHBOROUGH ASSESSOR'S INFORMATION. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

Dec 29 2019
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

APPLICANT/OWNER:

THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:

0 BARTLETT STREET
313 BARTLETT STREET
PARCEL H DEVELOPMENT
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 12/24/19

SCALE: 1" = 80' DWG. NAME: S-1145-09-EC

DRAFTED BY: KAC/COB CHECKED BY: NIL

PREPARED BY:



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DRAWING TITLE: EXISTING CONDITIONS

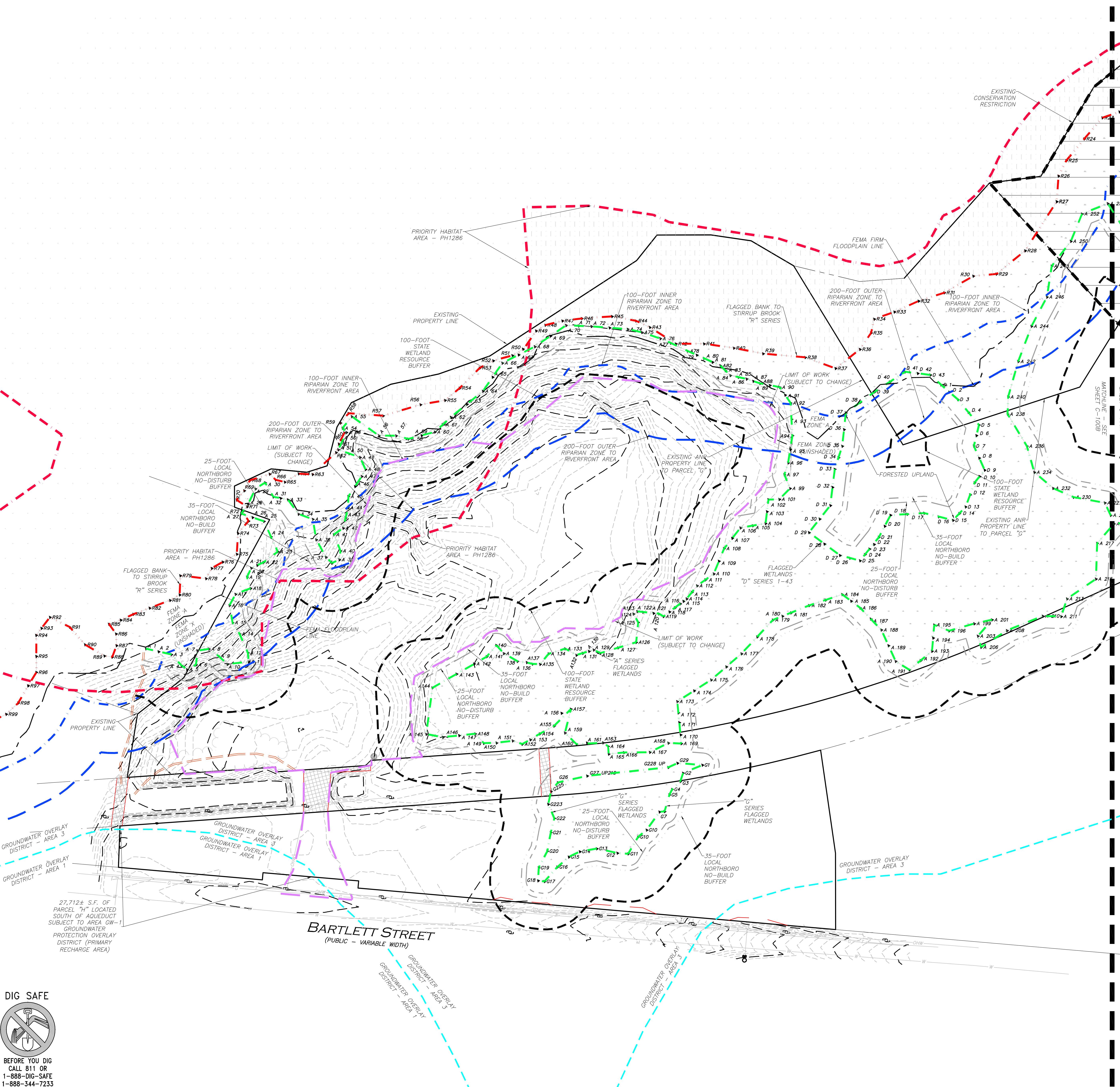
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UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

N:\PROJECTS\1145-09\CIVIL\DRAWINGS\CURRENT\1145-09 - RESOURCE AREAS PLAN.DWG

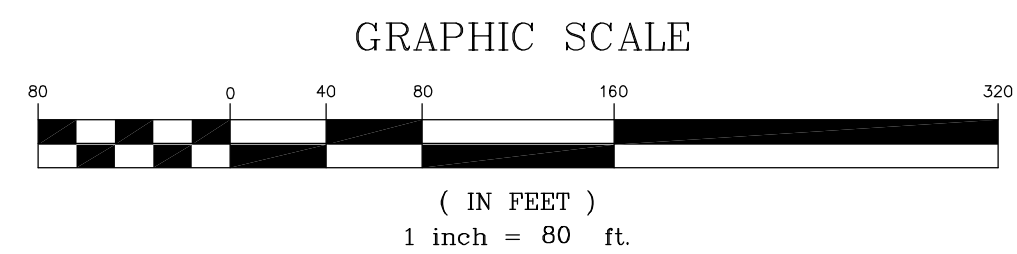


LEGEND:

- EXISTING PROPERTY LINE
- TOWN LINE
- BUILDING SETBACK LINE
- ABUTTERS LINE
- FLAGGED WETLAND
- WETLAND FLAG
- EDGE OF RIVERFRONT
- CERTIFIED VERNAL POOL
- 100' STATE BUFFER TO RESOURCE AREAS
- NORTHBORO 15' NO-DISTURB RESOURCE AREA BUFFER
- NORTHBORO 30' NO-BUILD RESOURCE AREA BUFFER
- 100' INNER RIPARIAN ZONE TO RIVERFRONT AREA
- 200' OUTER RIPARIAN ZONE TO RIVERFRONT AREA
- NHESP PRIORITY HABITAT
- FEMA FIRM FLOODZONE
- CONSERVATION RESTRICTION
- GROUNDWATER OVERLAY
- EXISTING TREE LINE
- STONE WALL
- LIMIT OF WORK (SUBJECT TO CHANGE)

- NOTES:**
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED. THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 24, 2019, ORIGINAL SCALE 1"=80'.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - ALL ELEVATIONS REFER TO NAVD 88.
 - WETLAND RESOURCE AREAS AND TOP OF BANK TO THE STIRRUP BROOK DELINEATED BY GODDARD CONSULTING ON SEPTEMBER 10, 11 AND 12, 2019 AND LOCATED BY INSTRUMENT BY ALLEN & MAJOR ASSOCIATES.
 - FEMA FIRM FLOODPLAIN LINE WAS SCALED IN AND FLOOD ZONE DESIGNATIONS WERE TAKEN FROM COMMUNITY PANEL 25027C0653F, EFFECTIVE DATE JULY 16, 2014.
 - ALL CALCULATED AREAS AND INFORMATION IS SUBJECT TO CHANGE PENDING MUNICIPALITY INPUT AS THE PROJECT PROGRESSES.

NORTHBOROUGH PARCEL H LOT AREA & WETLAND AREA SUMMARY	
ITEM	AREA (S.F.)
TOTAL PROJECT SITE AREA	2,881,730± S.F. (66.16± Ac.)
TOTAL FORESTED UPLAND AREA ON-SITE	1,383,197± S.F. (31.75± Ac.)
TOTAL WETLAND AREAS ON-SITE ⁽¹⁾	1,388,467± S.F. (31.87± Ac.)
STIRRUP BROOK RIVER AREA ON-SITE	110,066± S.F. (2.53± Ac.)
TOTAL SITE AREA WITHIN 200' RIVERFRONT	399,342± S.F. (9.17± Ac.)
TOTAL SITE AREA BETWEEN 100' & 200' RFA	204,671± S.F. (4.70± Ac.)
ALLOWABLE DISTURBANCE 200' RFA (10% TOTAL)	39,934± S.F. (0.917± Ac.)
PROPOSED DISTURBANCE 200' RFA (10% MAX.)	32,265± S.F. (0.741± Ac.)
PERCENTAGE TOTAL RFA DISTURBANCE	8.08%
NHESP PRIORITY HABITATS ON-SITE	PH-1286 PH-1278
NHESP PRIORITY HABITAT 1286 AND 1278 SPECIES	BLUE-SPOTTED SALAMANDER
NHESP PRIORITY HABITAT PH-1286 AREA ON-SITE	186,495± S.F. (4.28± ACRES)
NHESP PRIORITY HABITAT PH-1278 AREA ON-SITE	901,005± S.F. (20.68± ACRES)
TOTAL EX. CONSERVATION RESTRICT AREA ON-SITE	1,050,445± S.F. (24.11± ACRES)
WETLANDS IN CONSERVATION RESTRICTION ON-SITE	930,703± S.F. (21.37± ACRES)



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- ORDER OF CONDITIONS (NO)
- EARTH REMOVAL PERMIT
- DESIGN REVIEW COMMITTEE APPROVAL

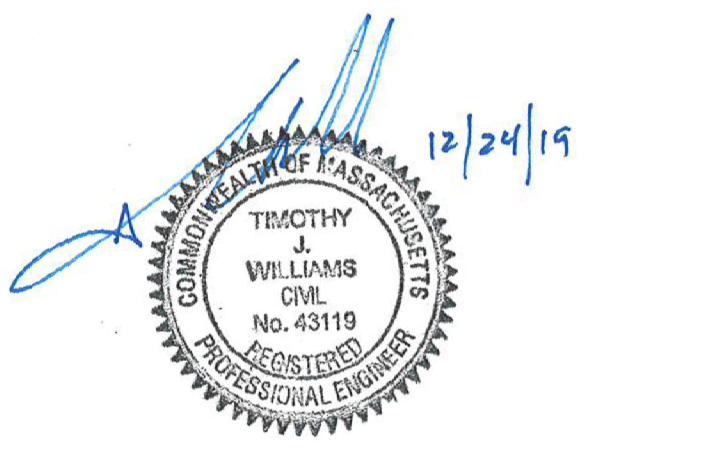
NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA
PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE	DATE



REV	DATE	DESCRIPTION

APPLICANT/OWNER:

THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:

PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 **DATE:** 2019-12-24

SCALE: 1"=80' **DWG. NAME:** C-1145-09

DESIGNED BY: DMR **CHECKED BY:** CMQ

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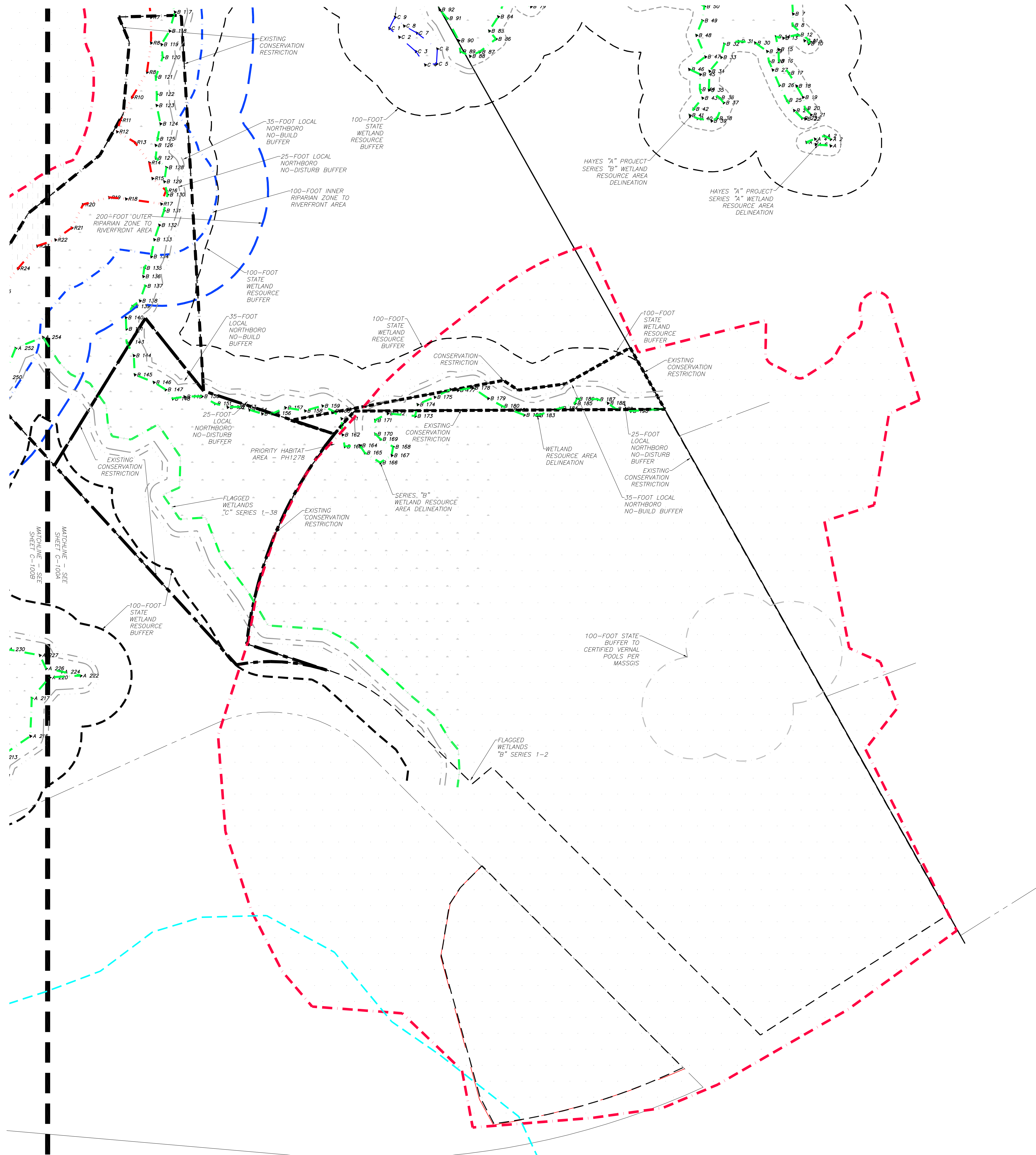
DRAWING TITLE: RESOURCE AREAS CONSTRAINT PLAN

SHEET NO.: C-100A

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BUILDING SETBACK LINE	---
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FLAGGED WETLAND	---
WETLAND FLAG	▲ B 56
EDGE OF RIVERFRONT	---
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NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA
PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE	DATE

12/24/19

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:
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200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
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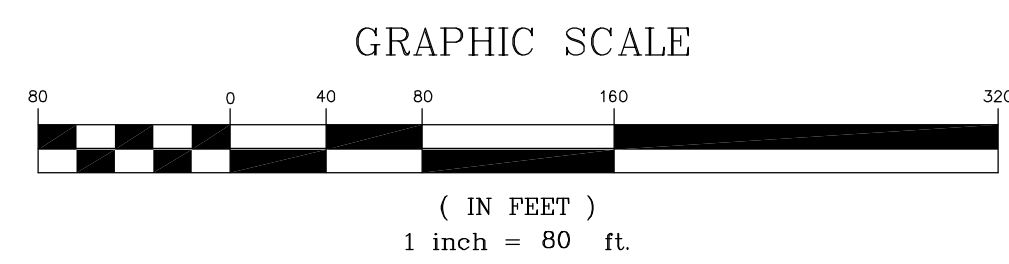
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DRAWING TITLE:
RESOURCE AREAS
CONSTRAINT PLAN

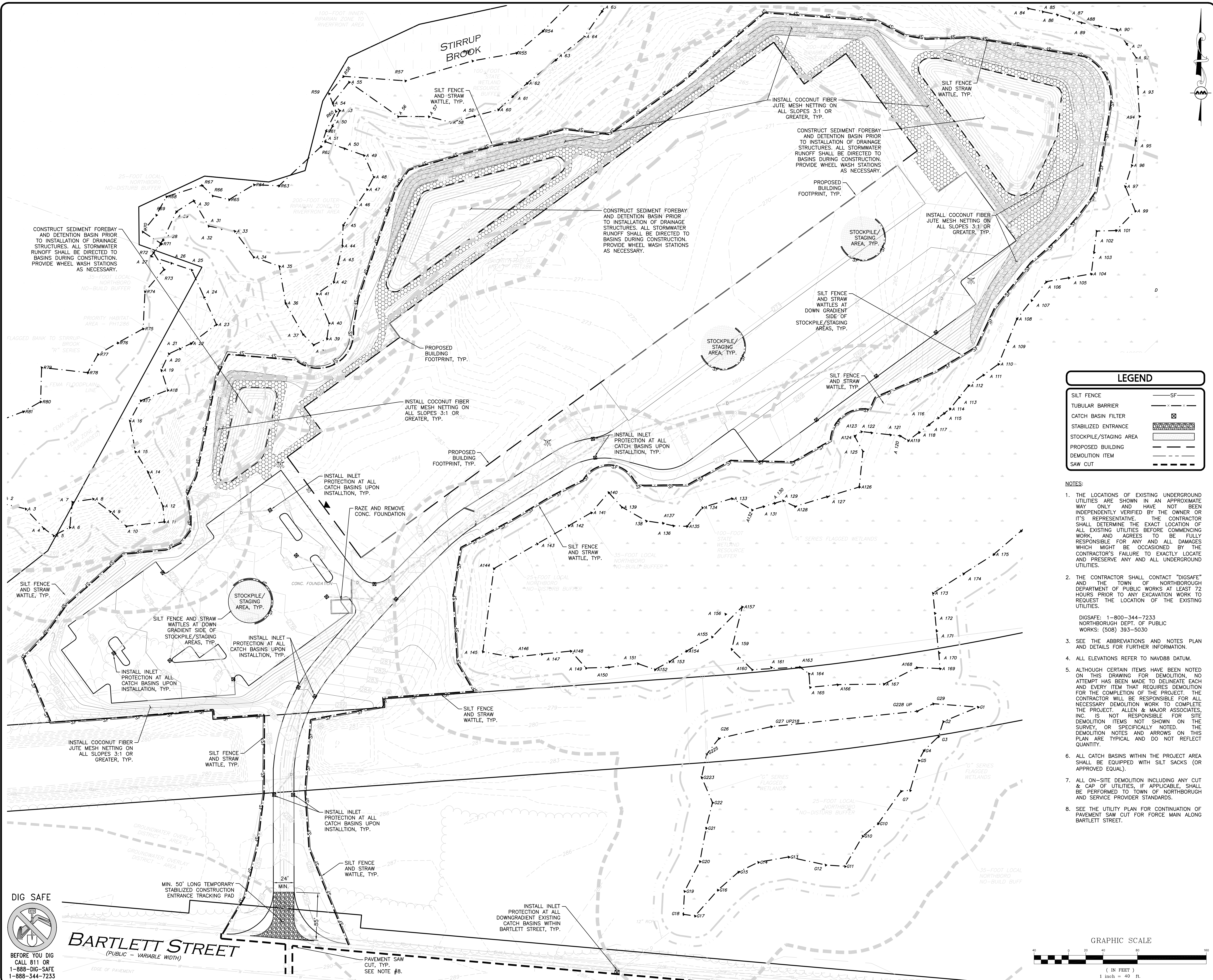
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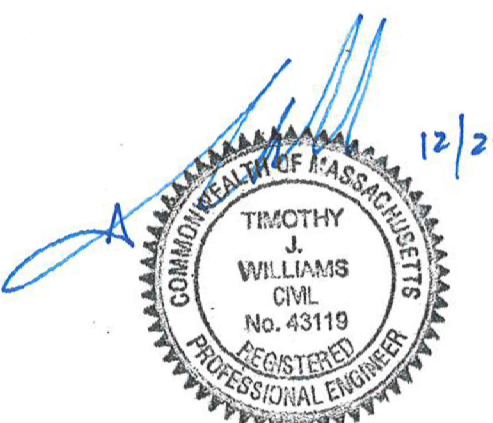
NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA
PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

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BURLINGTON, MA 01803

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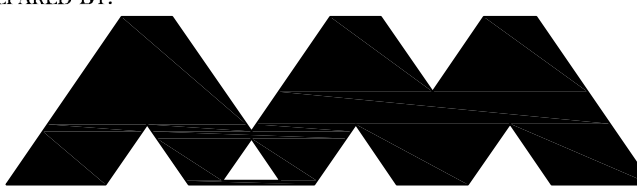
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MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-12-24

SCALE: 1"=40' DWG. NAME: C-1145-09

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:



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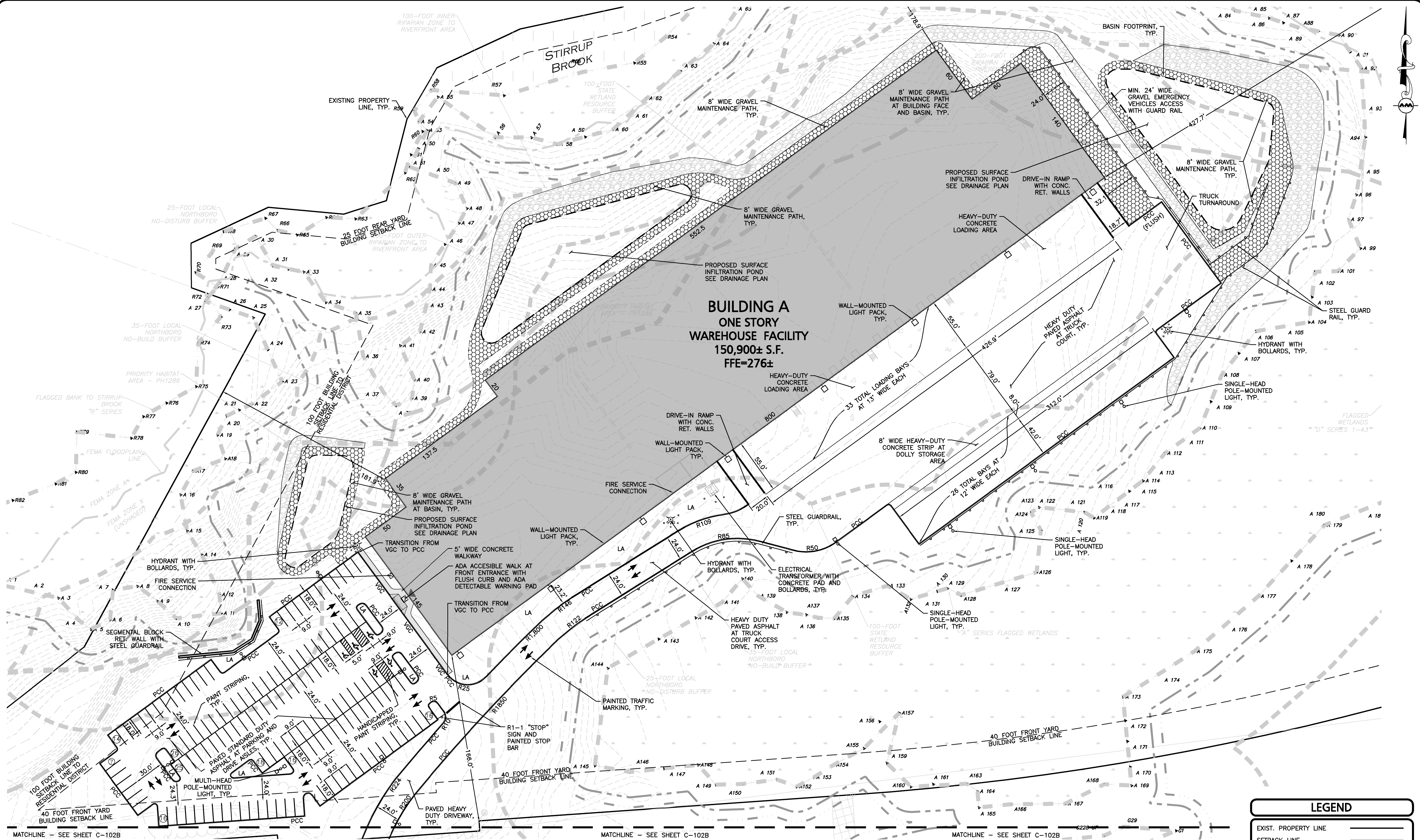
DRAWING TITLE:

EROSION CONTROL & SITE
PREPARATION PLAN

SHEET No.

C-101

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- ALL ELEVATIONS REFER TO NAVD 88.
- TOWN OF NORTHBOROUGH TO COORDINATE TRAIL RELOCATION.

ZONING & LAND USAGE SUMMARY TABLE FOR BUILDING A, MAP 51 LOT 3A PARCEL "H" DEVELOPMENT, BARTLETT STREET, NORTHBOROUGH, MA ZONING DISTRICT: INDUSTRIAL - (I) LAND USAGE: TRANSPORTATION & DISTRIBUTION USE (WAREHOUSE)

ITEM	REQUIRED	EXISTING PARCEL	PROPOSED BUILDING A LOT
LOT AREA (MIN.)	60,000 S.F.	2,570,375± S.F. 59.00± ACRES	2,570,375± S.F. 59.00± ACRES
LOT FRONTAGE (MIN.)	150 FEET	427.82 ⁽¹⁾	427.82 ⁽¹⁾
LOT WIDTH (MIN.) ⁽²⁾	NONE	N/A ⁽²⁾	462.2± FEET
FRONT SETBACK (MAX.) ⁽⁴⁾	NONE	N/A ⁽²⁾	166.0± FEET
FRONT YARD SETBACK (MIN.)	40 FEET	N/A ⁽²⁾	166.0± FEET
SIDE YARD SETBACK (MIN.) ⁽⁵⁾	20 FEET	N/A ⁽²⁾	181.9± (WEST) 427.7± (EAST)
REAR YARD SETBACK (MIN.)	25 FEET	N/A ⁽²⁾	178.9± FEET
LOT COVERAGE (MAX.)	50%	N/A ⁽²⁾	5.87%±
FLOOR AREA RATIO (F.A.R.) (MAX.)	0.80	N/A ⁽²⁾	0.0587±
OPEN SPACE (MIN.) ⁽⁶⁾	25%	100%	60.6%± ⁽⁸⁾
BUILDING HEIGHT (MAX.) ⁽⁷⁾	60 FEET	N/A ⁽²⁾	<60 FEET ⁽⁸⁾

ZONING & LAND USAGE SUMMARY TABLE NOTES

- FRONTAGE PROVIDED ALONG BARTLETT STREET AT EASTERLY PORTION OF LOT.
- NO EXISTING BUILDING ON-SITE.
- MINIMUM LOT WIDTH IS DEFINED AS: "THE REQUIRED MINIMUM LOT FRONTAGE EXTENDING FROM THE FRONT LOT LINE TO THE REAR BUILDING LINE OF THE MAIN BUILDING ON THE LOT" PER THE MOST CURRENT VERSION OF THE TOWN OF NORTHBOROUGH ZONING BYLAW.
- MAXIMUM FRONT SETBACK APPLIES ONLY TO NEW CONSTRUCTION.
- PER 7-06-030(C)(4)(b) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "IN THE INDUSTRIAL DISTRICT, THE MINIMUM SETBACK ALONG THE LOT LINE ADJACENT TO A RESIDENTIAL OR BUSINESS DISTRICT SHALL BE ONE HUNDRED (100) FEET FROM A RESIDENTIAL DISTRICT AND FIFTY (50) FEET FROM A BUSINESS DISTRICT. WHEN THE RESIDENTIAL ZONING DISTRICT BOUNDARY IS LOCATED IN OR AT A STREET, THE SETBACK MAY BE REDUCED BY THE WIDTH OF THE STREET WHICH IS IN THE RESIDENTIAL ZONE."
- PER 7-06-030(E)(1) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "NO MORE THAN FIFTY (50) PERCENT OF THE MINIMUM OPEN SPACE FOR ANY LOT AS REQUIRED IN THE TABLE OF DENSITY AND DIMENSIONAL REGULATIONS SHALL BE FRESHWATER WETLANDS, AS DEFINED IN THE M.G.L. C.131, § 40."
- PER 7-06-030(G)(1) SUPPLEMENTAL REGULATIONS OF THE NORTHBOROUGH ZONING BYLAWS, "IN THE INDUSTRIAL DISTRICT, BUILDING HEIGHT MAY BE INCREASED TO EIGHTY (80) FEET BY SPECIAL PERMIT FROM THE PLANNING BOARD, PROVIDED THAT FOR EVERY FOOT OF HEIGHT IN EXCESS OF SIXTY (60) FEET, THERE SHALL BE ADDED TO EACH YARD REQUIREMENT TWO (2) CORRESPONDING FEET OF WIDTH OR DEPTH."
- EXACT BUILDING HEIGHT TO BE DETERMINED DURING PERMITTING PROCESS. BUILDING HEIGHT TO BE LESS THAN 60 FEET.

OFF-STREET PARKING SUMMARY TABLE - BUILDING A - MAP 51, LOT 3A

USE: WHOLESALE WAREHOUSE, TRUCK FREIGHT TERMINAL OR STORAGE WAREHOUSE:

MINIMUM 1 SPACE PER 1,500 SQ. FT. GROSS FLOOR AREA;
MAXIMUM 1 SPACE PER 1,000 SQ. FT. GROSS FLOOR AREA.
150,900± S.F. TOTAL BUILDING GROSS FLOOR AREA
TOTAL SPACES REQUIRED = 101 MIN. AND 150 MAX⁽¹⁾

TOTAL SPACES PROVIDED = 150 SPACES

TOTAL TRUCK LOADING BAYS PROVIDED: TBD
ADA REQUIRED: 5 TOTAL PARKING STALLS TO BE ACCESSIBLE, INCLUDING 1 SPACE WHICH SHALL BE VAN ACCESSIBLE.

ADA PROVIDED: 5 TOTAL ACCESSIBLE STALLS INCLUDING 4 VAN ACCESSIBLE STALLS.

TOTAL REQUIRED	TOTAL EXISTING	HANDICAPPED PROVIDED	COMPACT PROVIDED	TRUCK BAYS PROVIDED	STANDARD PROVIDED	TOTAL PROVIDED
101 TO 150	0	5 ⁽²⁾	0	TBD	145	150

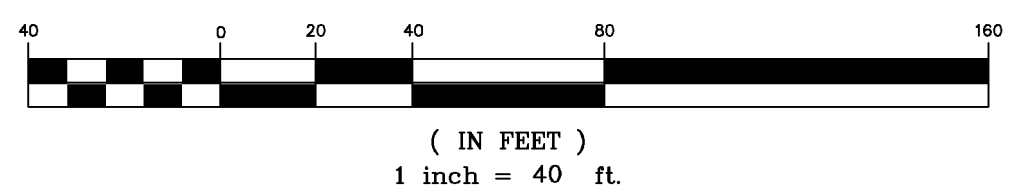
⁽¹⁾PER TOWN OF NORTHBOROUGH ZONING BYLAW, ANY PARKING COUNT FRACTIONS SHALL REQUIRE AN ADDITIONAL PARKING SPACE OR BAY.

⁽²⁾INCLUDING 4 VAN ACCESSIBLE STALLS.

LEGEND

EXIST. PROPERTY LINE	—
SETBACK LINE	—
BOLLARD	•
BUILDING	▬
BUILDING ARCHITECTURE	▬
BUILDING INTERIOR WALLS	▬
CURB	▬
RETAINING WALL	▬
PARKING STRIPING	▬
ROADWAY STRIPING	▬
HEAVY DUTY CONCRETE SIDEWALK	▬
ADA ACCESSIBLE RAMP	▬
ADA DET. WARNING SURFACE	▬
SIGN	▬
PARKING COUNT	10
SITE LIGHTING	▬
DOORWAY	▬
CURB RADIUS (FEET)	R15'
PRECAST CONCRETE CURB	PCC
VERTICAL GRANITE CURB	VGC
LANDSCAPED AREA	LA

GRAPHIC SCALE



PRELIMINARY LIST OF PERMITS & WAIVERS

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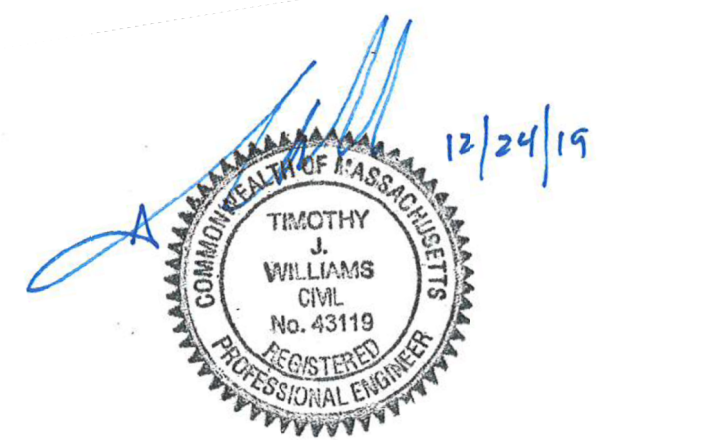
NORTHBOROUGH WAIVERS:

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TOWN OF NORTHBOROUGH, MA
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DRAWING TITLE:

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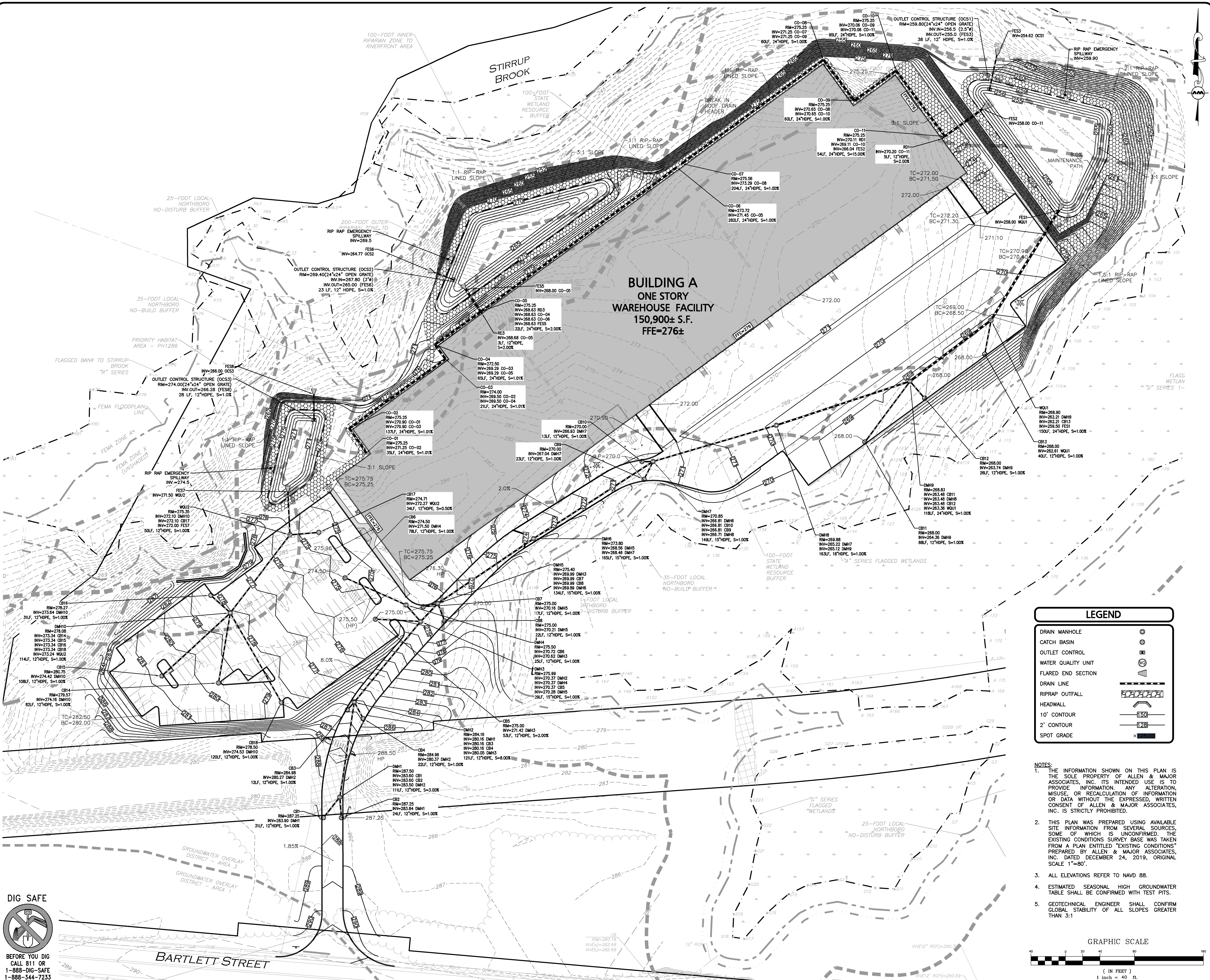
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N:\PROJECTS\1145-09\CIVIL DRAWINGS\CURRENT\1145-09 - GRADING AND DRAINAGE PLAN.DWG



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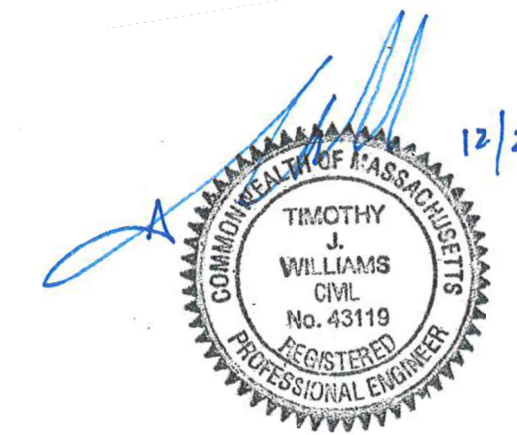
NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA PLANNING BOARD SITE PLAN APPROVAL

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SIGNATURE	DATE



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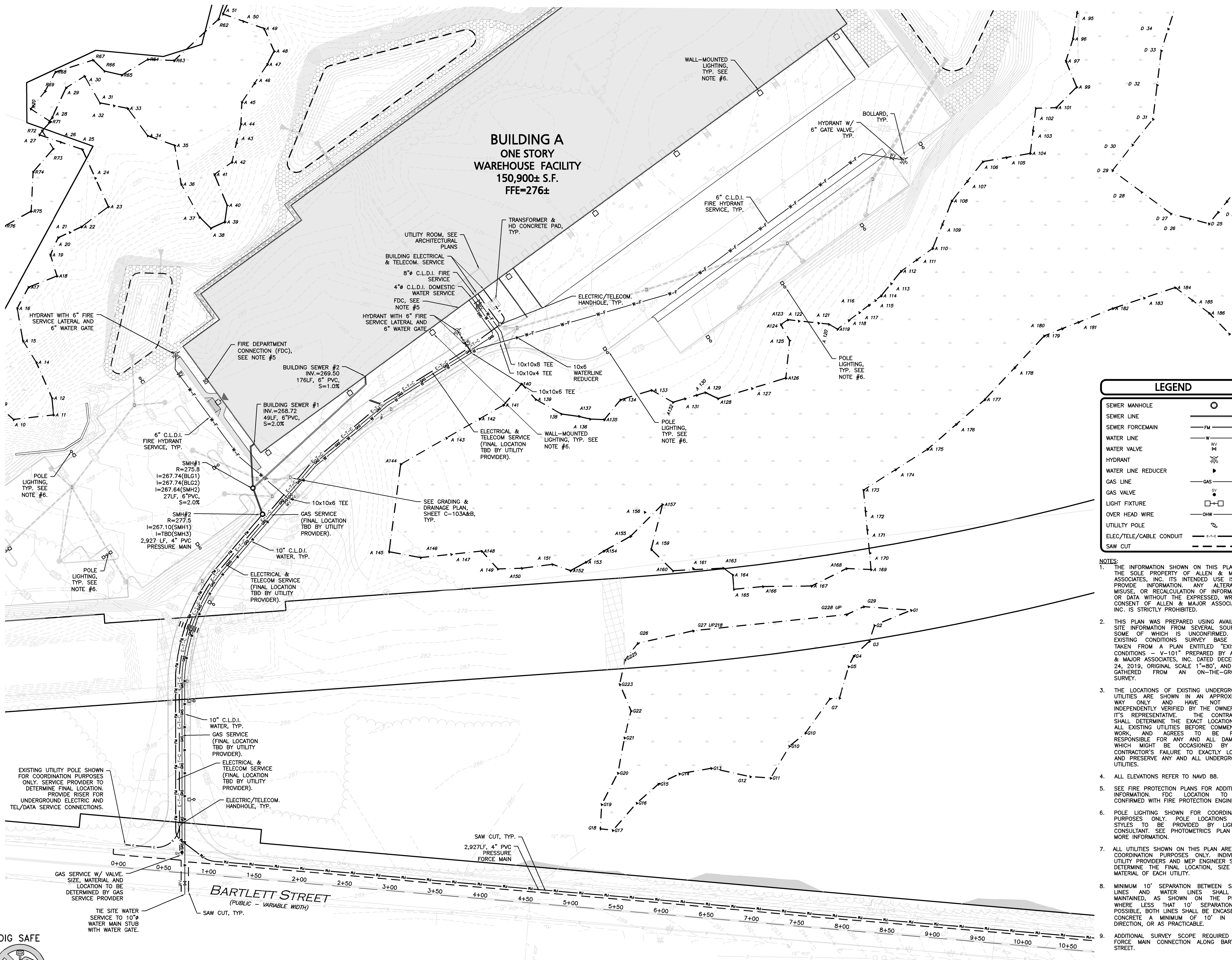
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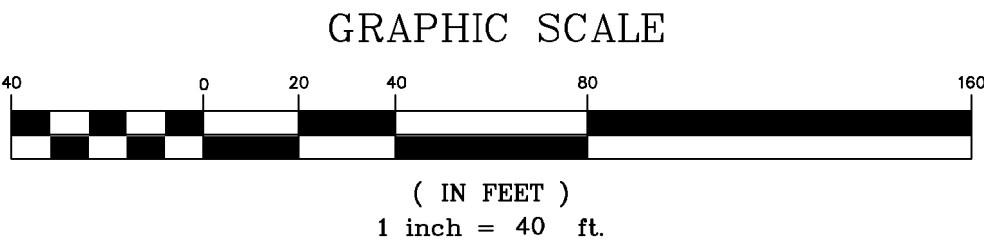
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LEGEND

SEWER MANHOLE	○
SEWER LINE	—
SEWER FORCE MAIN	—FM—
WATER LINE	—W—
WATER VALVE	WV
HYDRANT	HY
WATER LINE REDUCER	WLR
GAS LINE	—GAS—
GAS VALVE	GV
LIGHT FIXTURE	□
OVER HEAD WIRE	—OHW—
UTILITY POLE	U
ELEC./TELE./CABLE CONDUIT	—E-T-C—
SAW CUT	---

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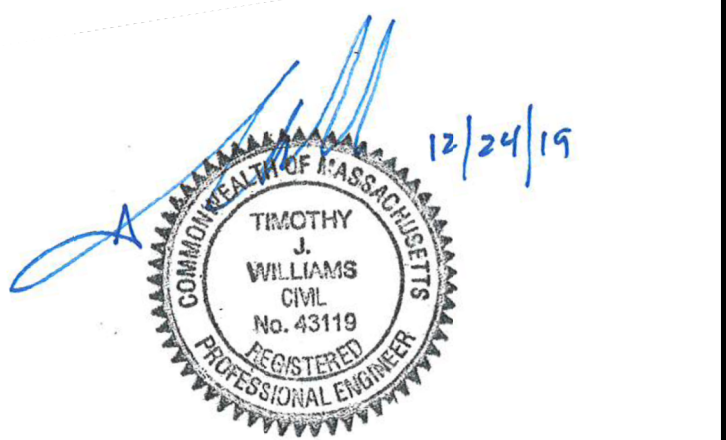
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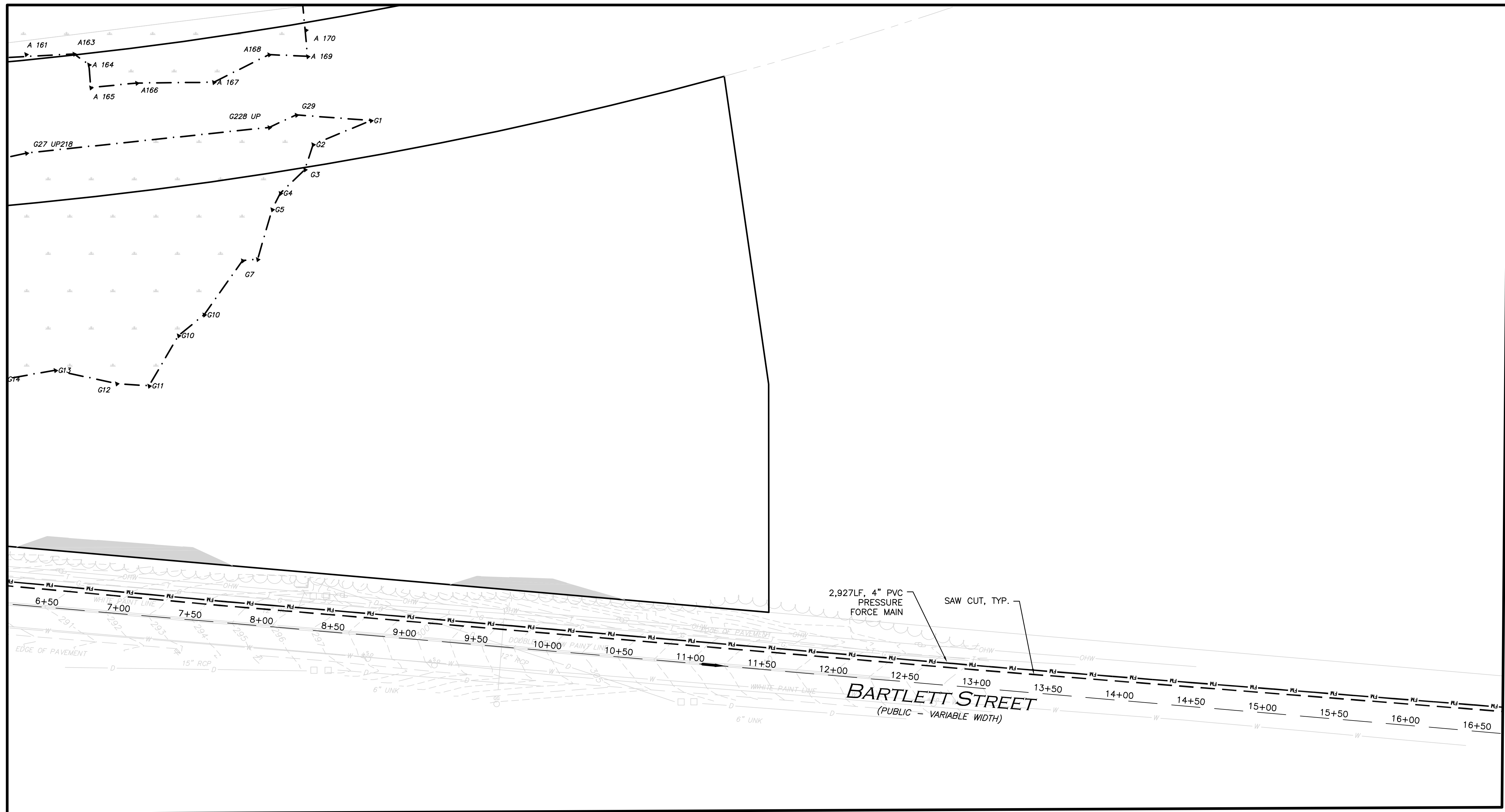
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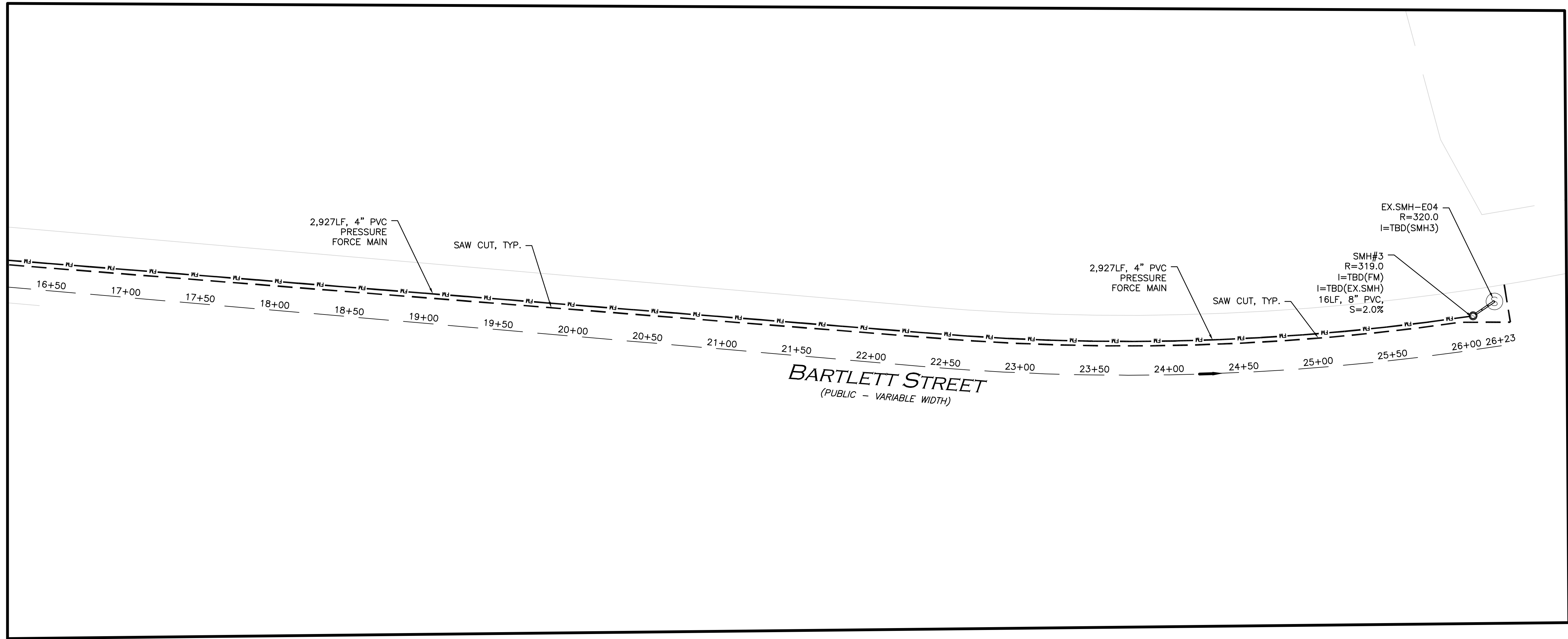
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PROPOSED FORCE MAIN RUN AND STATIONING
SCALE 1"=40'



PROPOSED FORCE MAIN RUN AND STATIONING
SCALE 1"=40'

LEGEND	
SEWER MANHOLE	
SEWER LINE	
SEWER FORCEMAIN	
WATER LINE	
WATER VALVE	
HYDRANT	
WATER LINE REDUCER	
GAS LINE	
GAS VALVE	
LIGHT FIXTURE	
OVER HEAD WIRE	
UTILITY POLE	
ELEC/TELE/CABLE CONDUIT	
SAW CUT	

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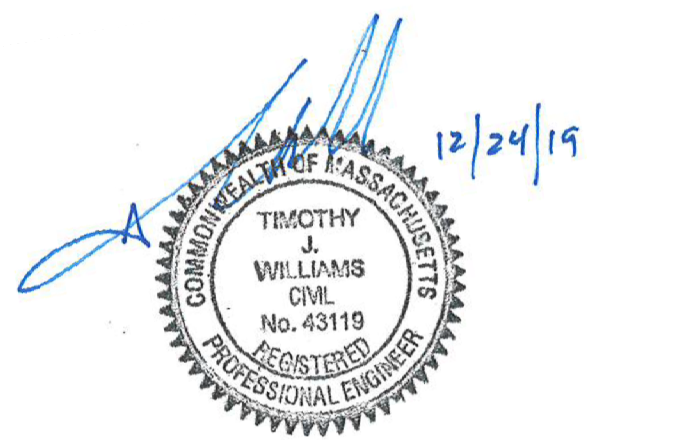
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- TBD

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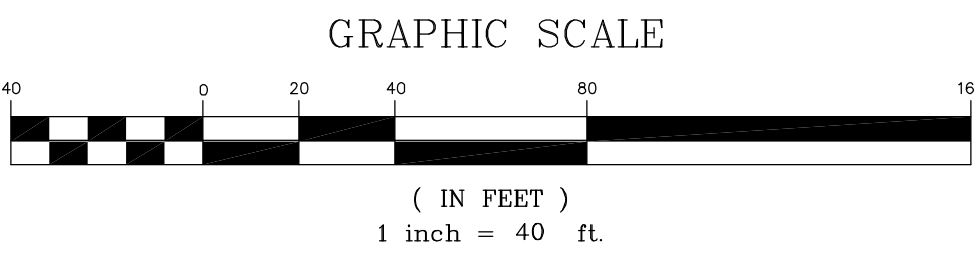
DRAWING TITLE: UTILITIES PLAN SHEET No. C-1048

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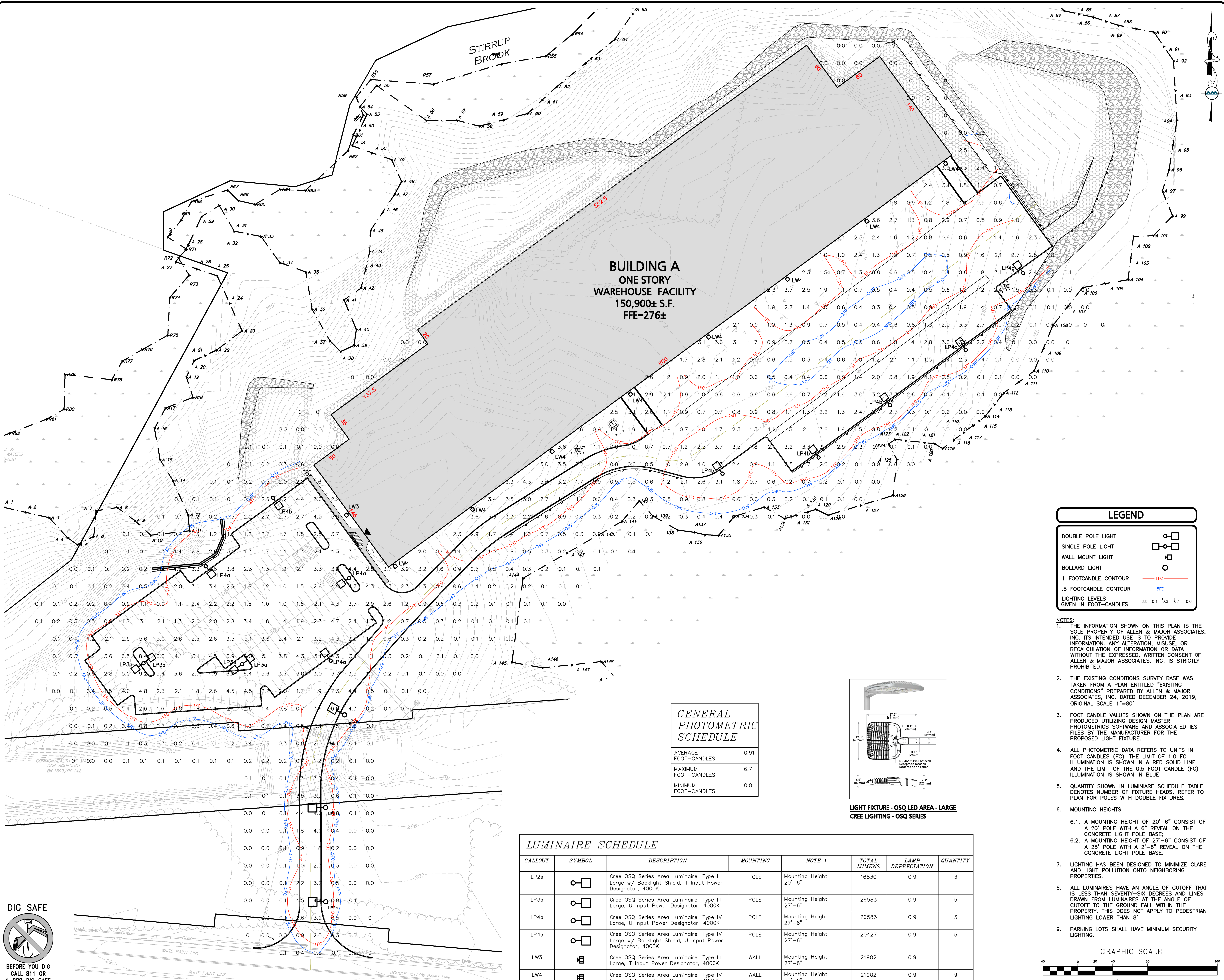
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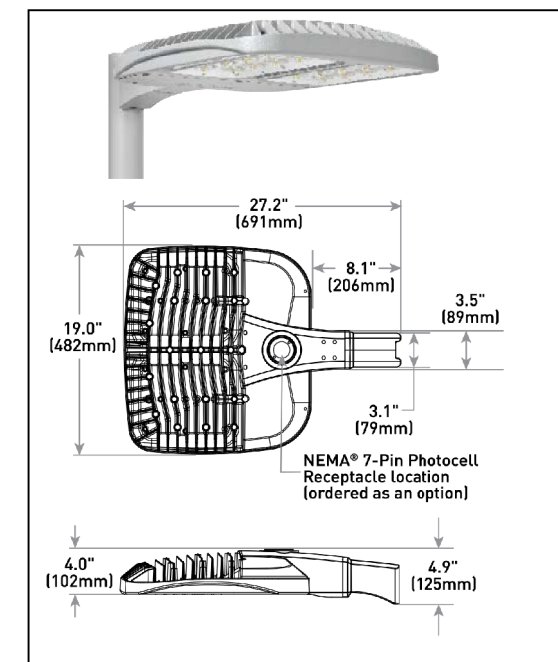
N:\PROJECTS\1145-09\CIVIL\DRAWINGS\CURRENT\G-1145-09_UTILITIES.DWG



BUILDING A
ONE STORY
WAREHOUSE FACILITY
150,900± S.F.
FFE=276±

GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDLES	0.91
MAXIMUM FOOT-CANDLES	6.7
MINIMUM FOOT-CANDLES	0.0



LIGHT FIXTURE - OSQ LED AREA - LARGE
CREE LIGHTING - OSQ SERIES

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	MOUNTING	NOTE 1	TOTAL LUMENS	LAMP DEPRECIATION	QUANTITY
LP2s		Cree OSQ Series Area Luminaire, Type II Large w/ Backlight Shield, T Input Power Designator, 4000K	POLE	Mounting Height 20'-6"	16830	0.9	3
LP3a		Cree OSQ Series Area Luminaire, Type III Large, U Input Power Designator, 4000K	POLE	Mounting Height 27'-6"	26583	0.9	5
LP4a		Cree OSQ Series Area Luminaire, Type IV Large, U Input Power Designator, 4000K	POLE	Mounting Height 27'-6"	26583	0.9	3
LP4b		Cree OSQ Series Area Luminaire, Type IV Large w/ Backlight Shield, U Input Power Designator, 4000K	POLE	Mounting Height 27'-6"	20427	0.9	5
LW3		Cree OSQ Series Area Luminaire, Type III Large, T Input Power Designator, 4000K	WALL	Mounting Height 27'-6"	21902	0.9	1
LW4		Cree OSQ Series Area Luminaire, Type IV Large, T Input Power Designator, 4000K	WALL	Mounting Height 27'-6"	21902	0.9	9

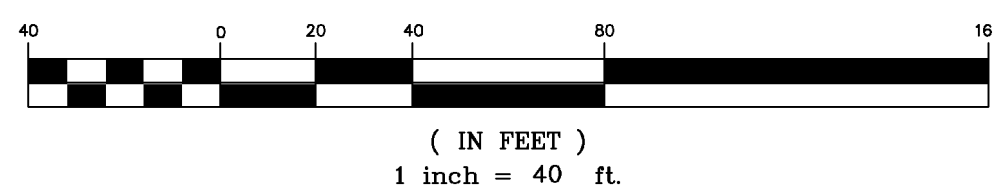
LEGEND

DOUBLE POLE LIGHT	
SINGLE POLE LIGHT	
WALL MOUNT LIGHT	
BOLLARD LIGHT	
1 FOOTCANDLE CONTOUR	
.5 FOOTCANDLE CONTOUR	
LIGHTING LEVELS GIVEN IN FOOT-CANDLES	0.0 0.1 0.2 0.4 0.6

NOTES:

- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE EXISTING CONDITIONS SURVEY BASE WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 24, 2019, ORIGINAL SCALE 1"=80'.
- FOOT CANDLE VALUES SHOWN ON THE PLAN ARE PRODUCED UTILIZING DESIGN MASTER PHOTOMETRICS SOFTWARE AND ASSOCIATED IES FILES BY THE MANUFACTURER FOR THE PROPOSED LIGHT FIXTURE.
- ALL PHOTOMETRIC DATA REFERS TO UNITS IN FOOT CANDLES (FC). THE LIMIT OF 1.0 FC ILLUMINATION IS SHOWN IN A RED SOLID LINE AND THE LIMIT OF THE 0.5 FOOT CANDLE (FC) ILLUMINATION IS SHOWN IN BLUE.
- QUANTITY SHOWN IN LUMINAIRE SCHEDULE TABLE DENOTES NUMBER OF FIXTURE HEADS. REFER TO PLAN FOR POLES WITH DOUBLE FIXTURES.
- MOUNTING HEIGHTS:
 - A MOUNTING HEIGHT OF 20'-6" CONSIST OF A 20' POLE WITH A 6" REVEAL ON THE CONCRETE LIGHT POLE BASE.
 - A MOUNTING HEIGHT OF 27'-6" CONSIST OF A 25' POLE WITH A 2'-6" REVEAL ON THE CONCRETE LIGHT POLE BASE.
- LIGHTING HAS BEEN DESIGNED TO MINIMIZE GLARE AND LIGHT POLLUTION ONTO NEIGHBORING PROPERTIES.
- ALL LUMINAIRES HAVE AN ANGLE OF CUTOFF THAT IS LESS THAN SEVENTY-SIX DEGREES AND LINES DRAWN FROM LUMINAIRES AT THE ANGLE OF CUTOFF TO THE GROUND FALL WITHIN THE PROPERTY. THIS DOES NOT APPLY TO PEDESTRIAN LIGHTING LOWER THAN 8'.
- PARKING LOTS SHALL HAVE MINIMUM SECURITY LIGHTING.

GRAPHIC SCALE



PRELIMINARY LIST OF PERMITS & WAIVERS

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

- SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)
- ORDER OF CONDITIONS (NOI)
- EARTH REMOVAL PERMIT
- DESIGN REVIEW COMMITTEE APPROVAL

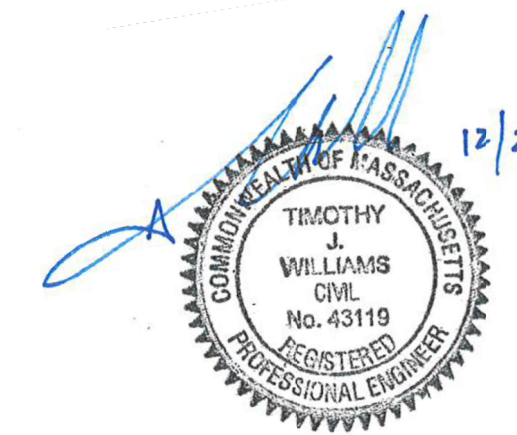
NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE	DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:

THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:

PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-12-24

SCALE: 1"=40' DWG. NAME: C-1145-09

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

100 COMMERCE WAY
SUITE 5
WOBBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE:

PHOTOMETRICS PLAN

SHEET NO.

C-105

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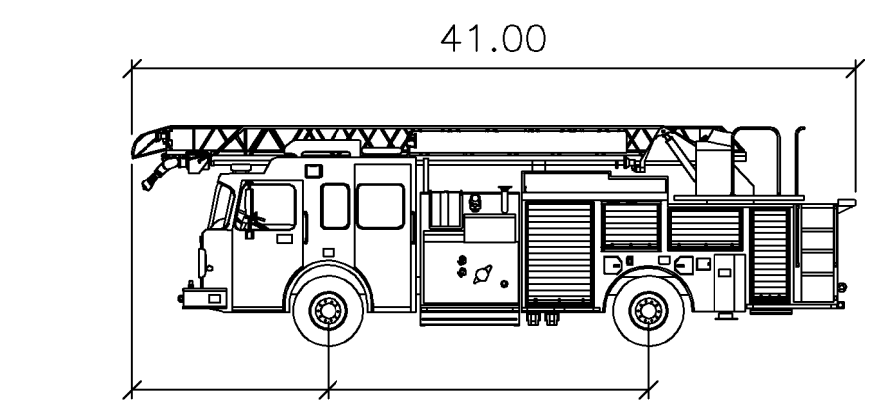
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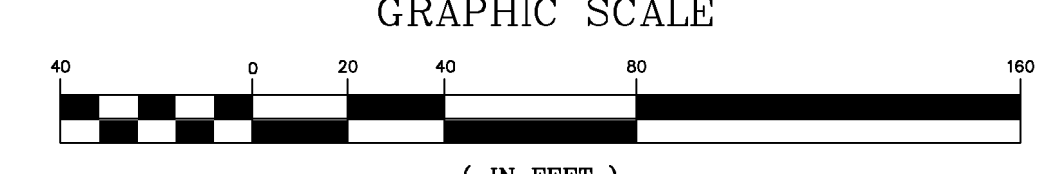
STIRRUP
BROOK

BARTLETT STREET

1. THIS PLAN WAS PREPARED USING AVAILABLE SITE INFORMATION FROM SEVERAL SOURCES, SOME OF WHICH IS UNCONFIRMED, THE EXISTING CONDITIONS SURROUNDING EACH LOT TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS - V-101" PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DATED DECEMBER 24, 1989, ORIGINAL SCALE 1"=40' AND "AS SHOWN" GATHERED FROM AN ON-THE-GROUND SURVEY.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO PROPERLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. ALL ELEVATIONS REFER TO NAVD 88.
4. FIRE AERIAL TRUCK TURNING TEMPLATE AND VEHICLE DIMENSIONS PROVIDED BY TOWN OF BURLINGHAM FIRE DEPARTMENT.



Width	: 8.00
Track	: 8.50
Lock to Lock Time	: 4.0
Steering Angle	: 55.0

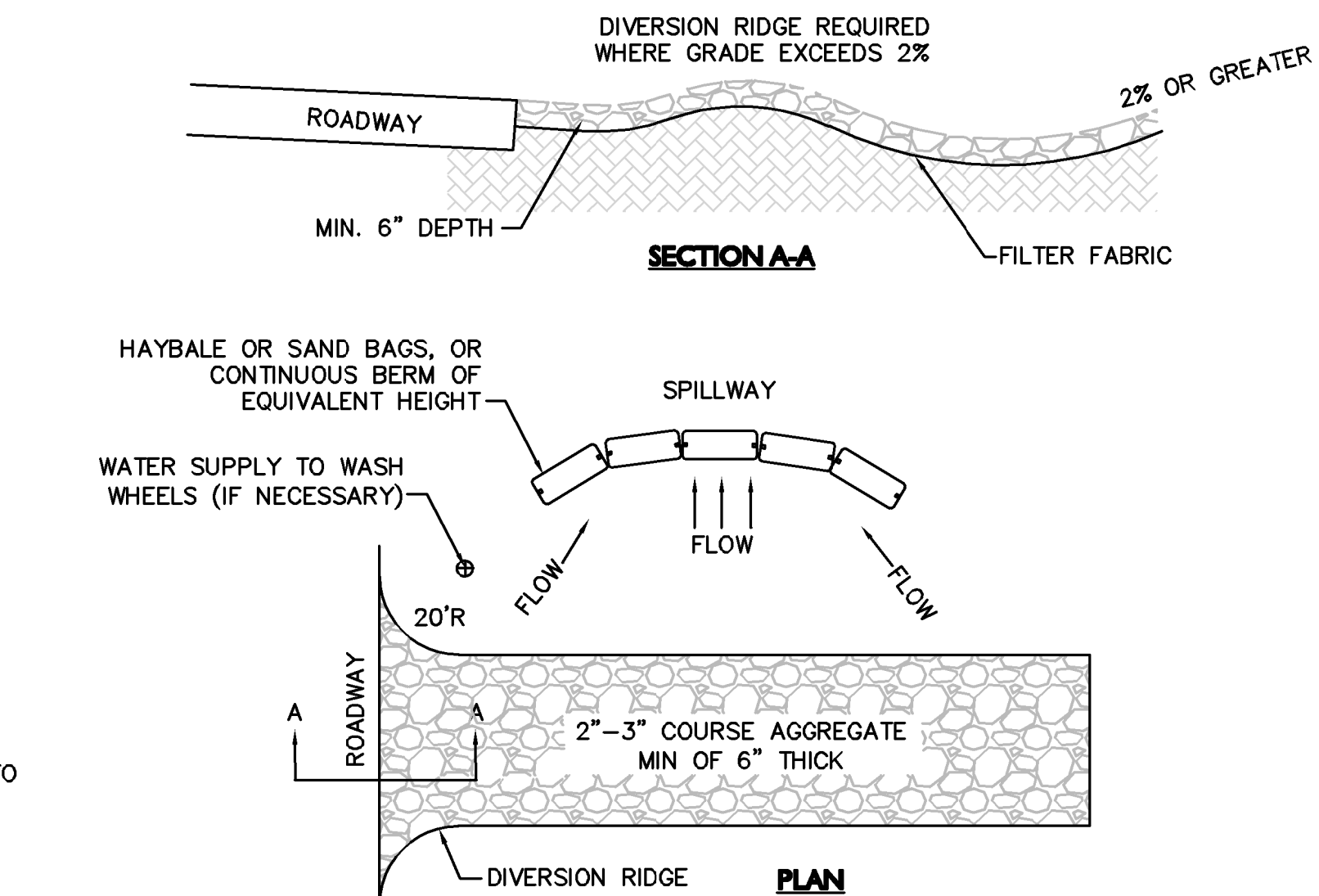


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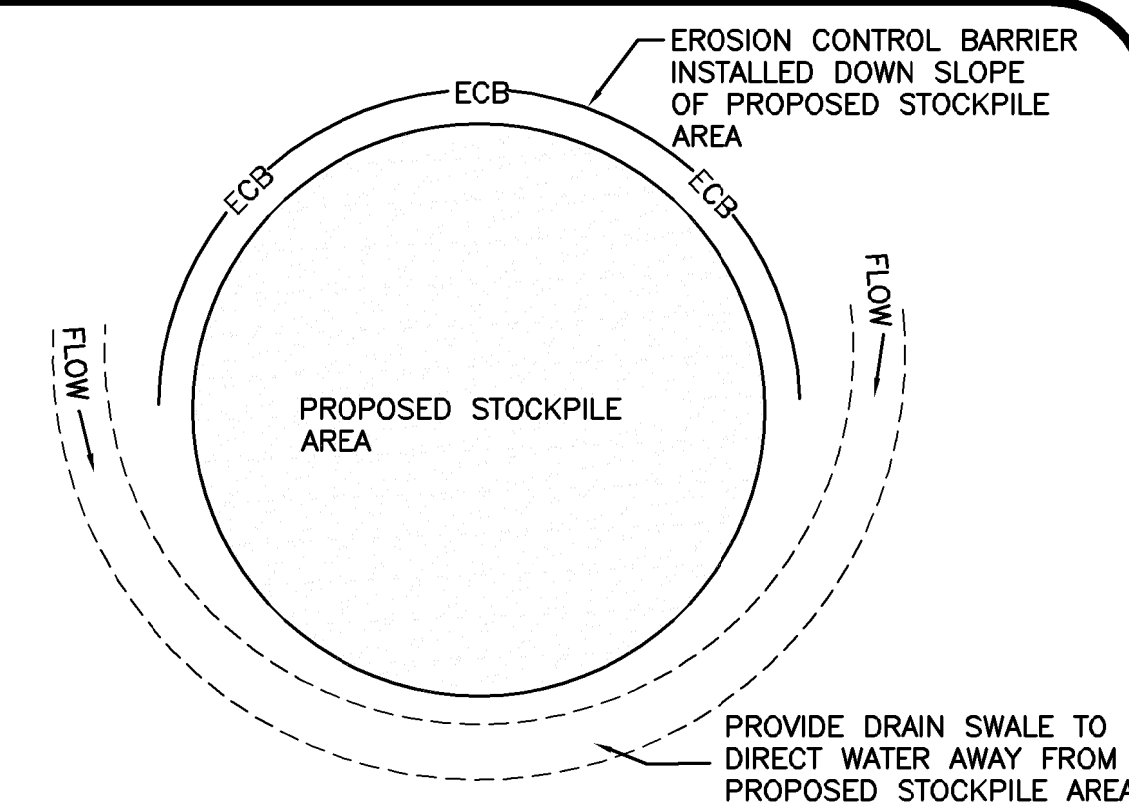
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- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, HAYBALES, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.
 5. SEE EROSION CONTROL PLAN FOR PAD DIMENSIONS AND LOCATION.



TEMPORARY CONSTRUCTION ENTRANCE/TRACKING PAD
NOT TO SCALE

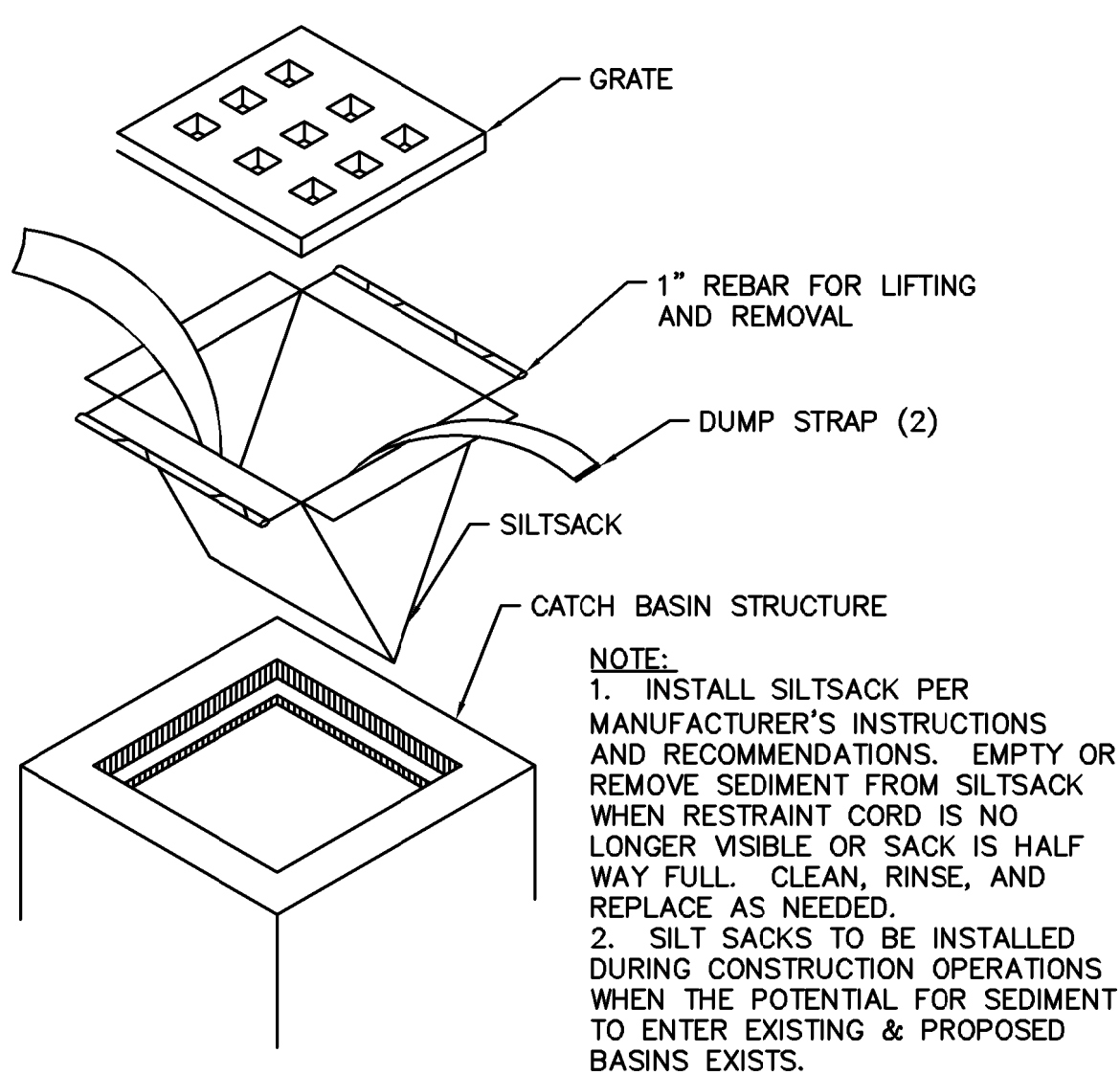
1



- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100 LBS/1,000 S.F.) OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

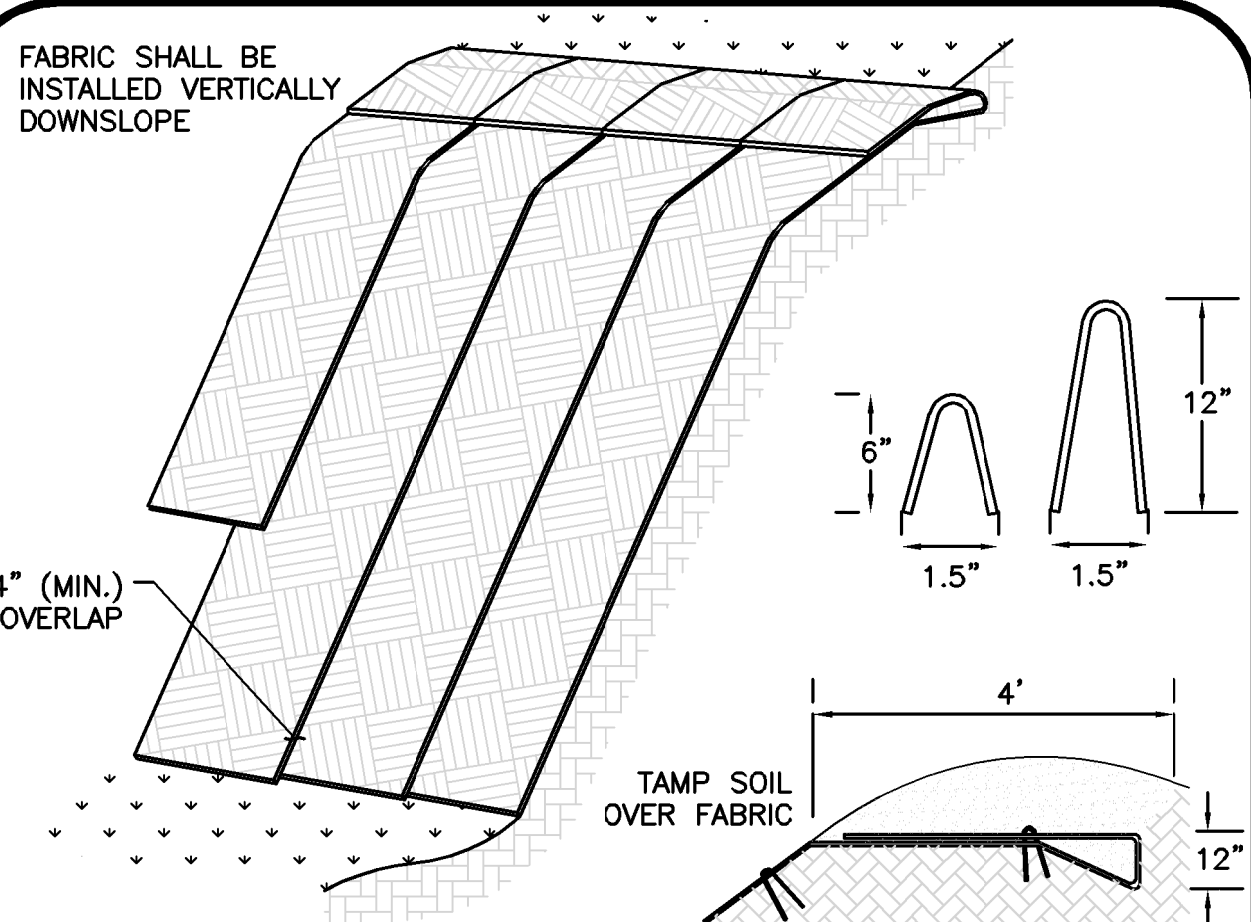
STOCKPILE PROTECTION
NOT TO SCALE

4



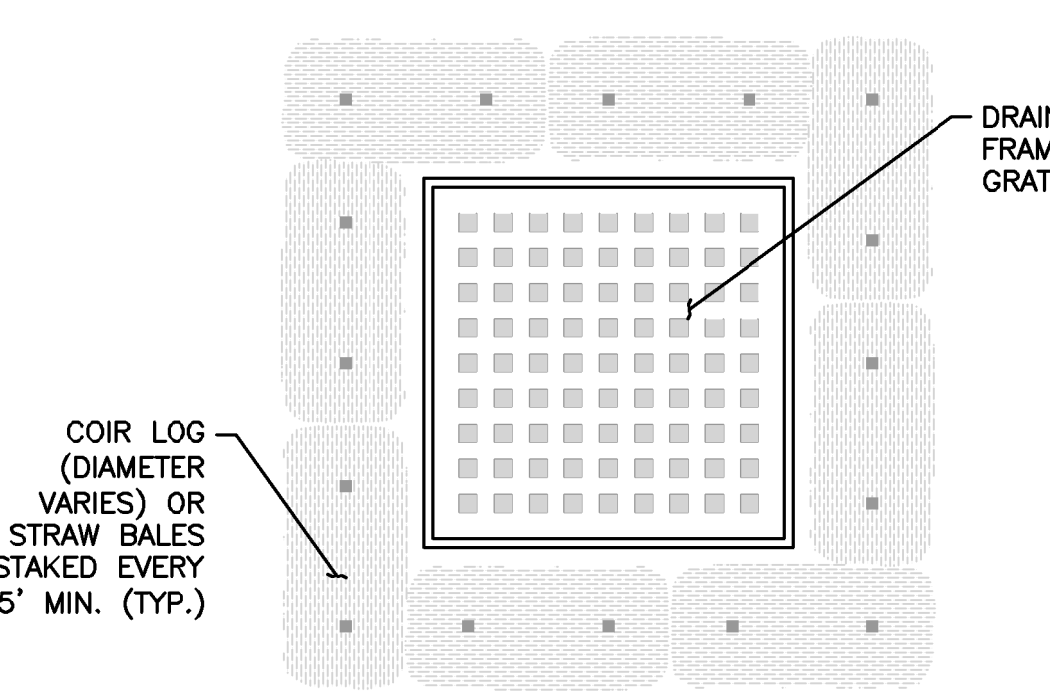
SILTSACK INLET DETAIL
NOT TO SCALE

5



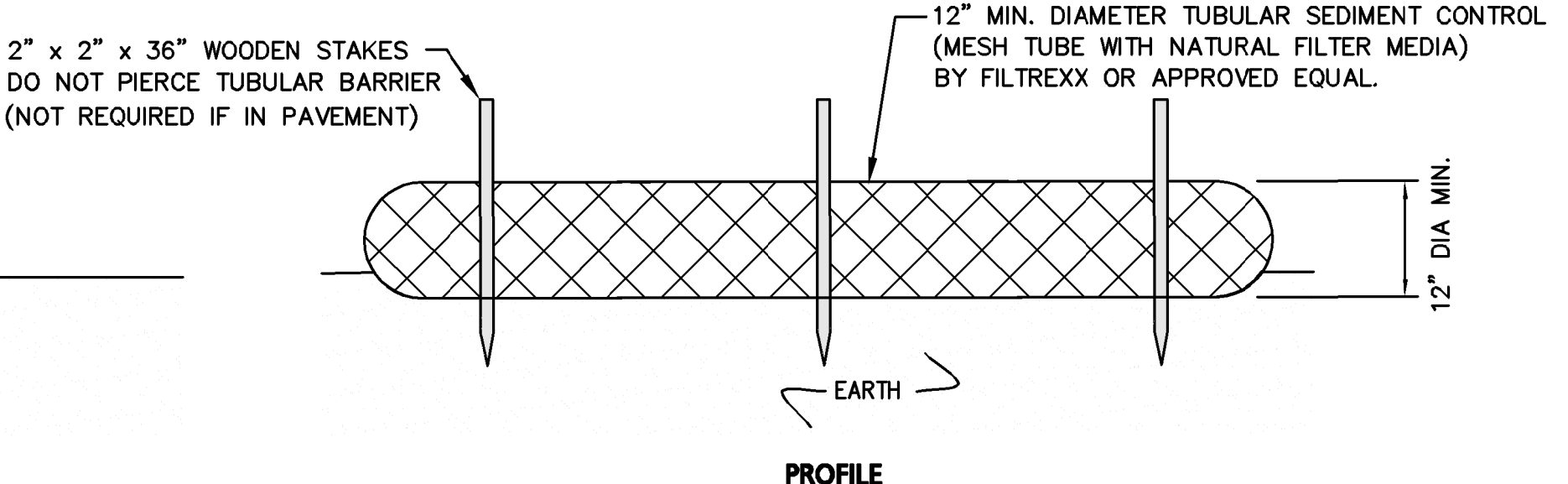
EROSION CONTROL FABRIC
NOT TO SCALE

6



TYPICAL STRAW BALE FILTER DETAIL
NOT TO SCALE

7

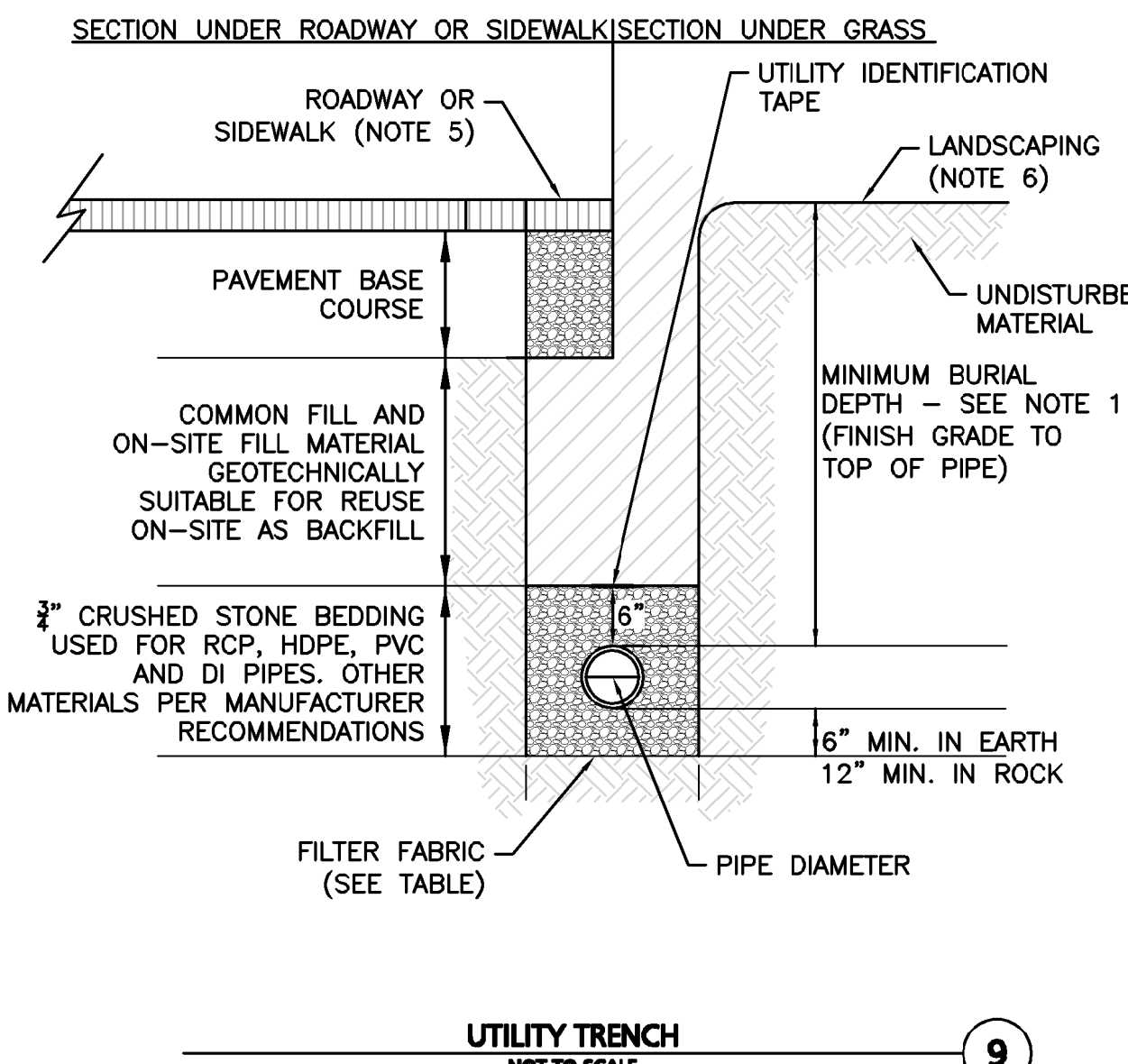


TUBULAR SEDIMENT BARRIER DETAIL
NOT TO SCALE

3

- NOTES:
1. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 2. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER.
 3. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 4. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 5. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

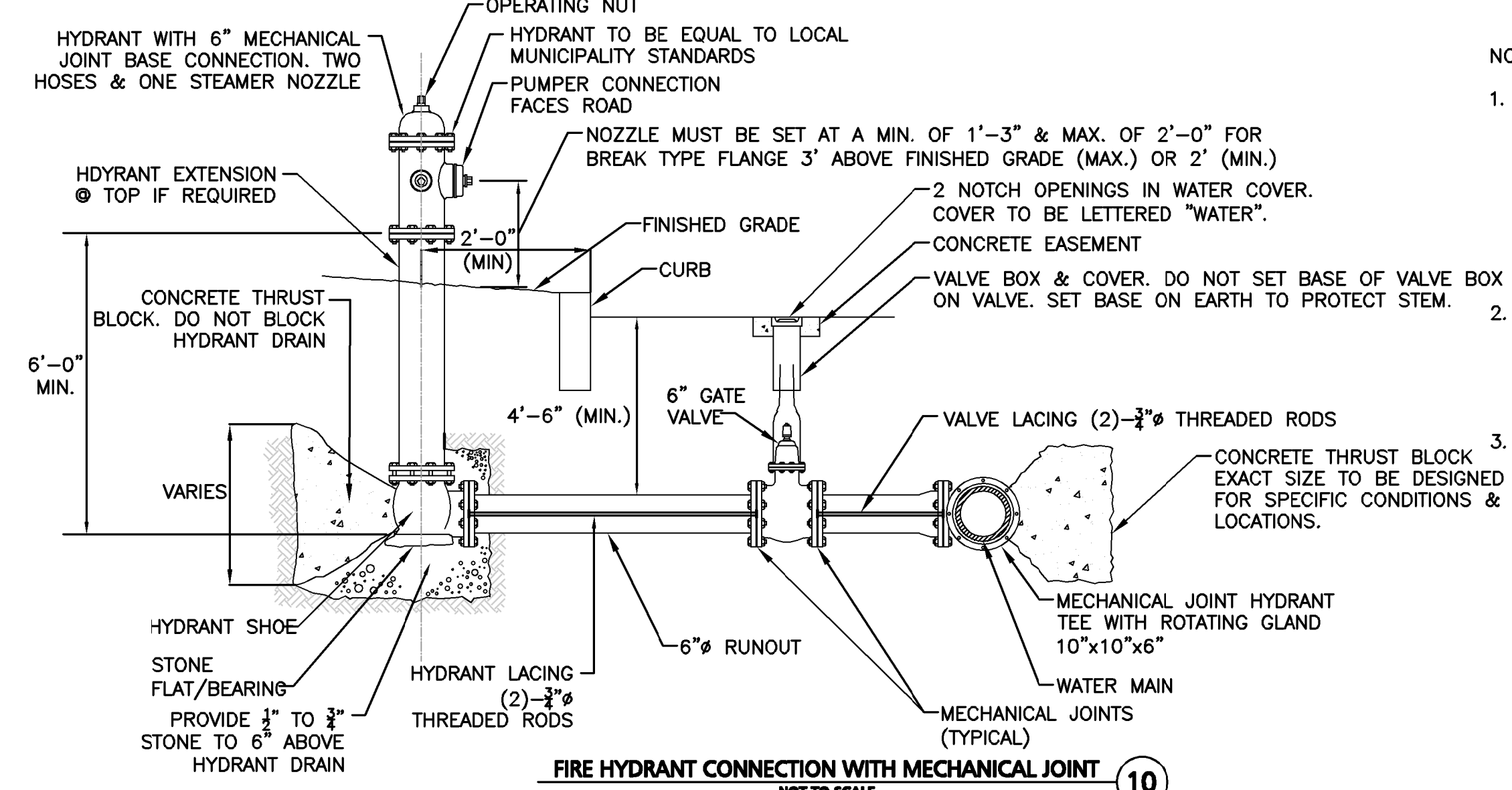
- NOTES:
1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE) GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE PRESSURE PIPE UNDER PAVING - 4' PRESSURE PIPE BENEATH UNPAVED - 3' WATER PIPE - 5'
 2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 3. TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
 4. WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED, THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE, OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
 5. REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.
 6. REFER TO LANDSCAPING DETAILS.



UTILITY TRENCH
NOT TO SCALE

9

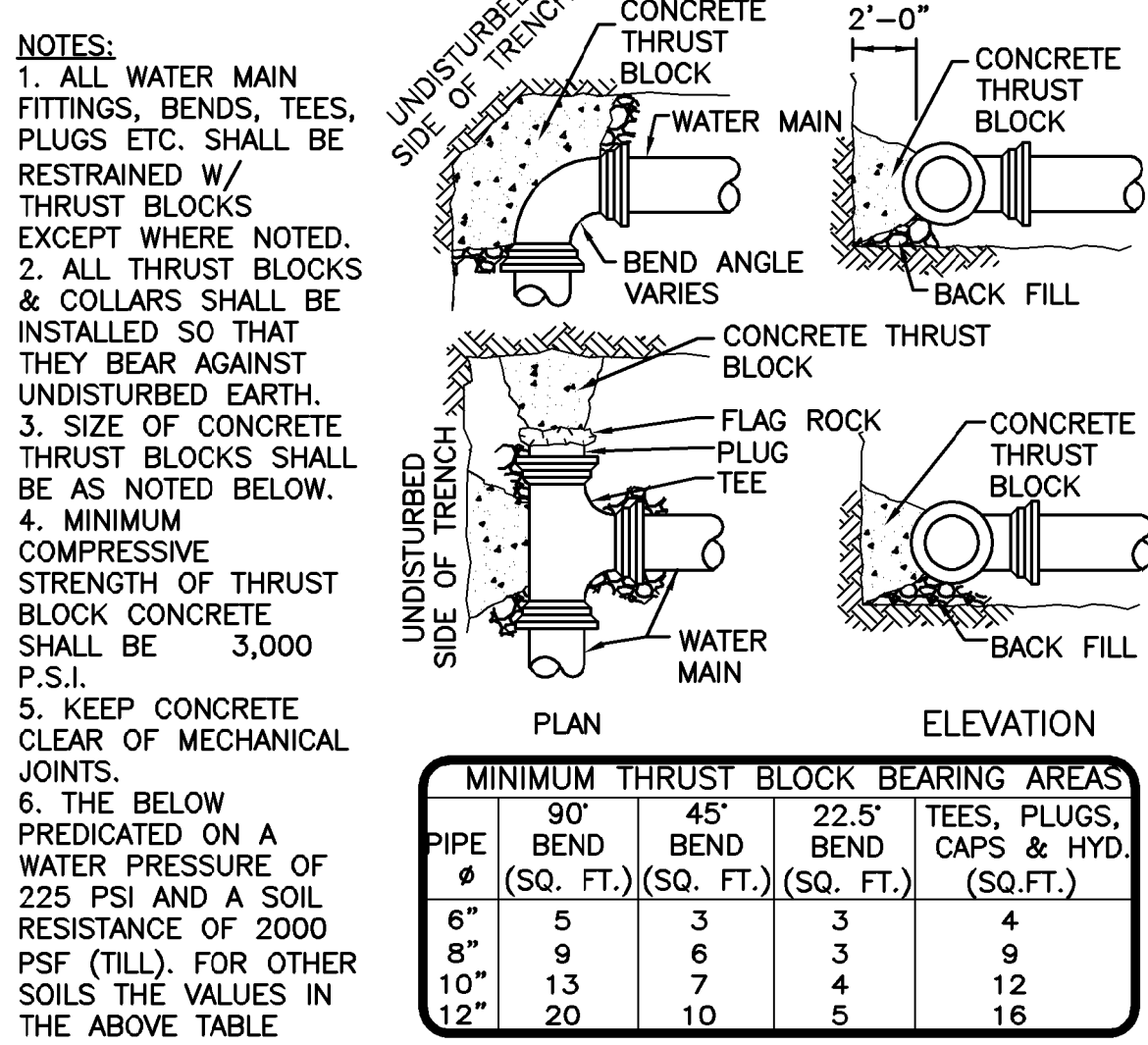
	FILTER FABRIC USE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



FIRE HYDRANT CONNECTION WITH MECHANICAL JOINT
NOT TO SCALE

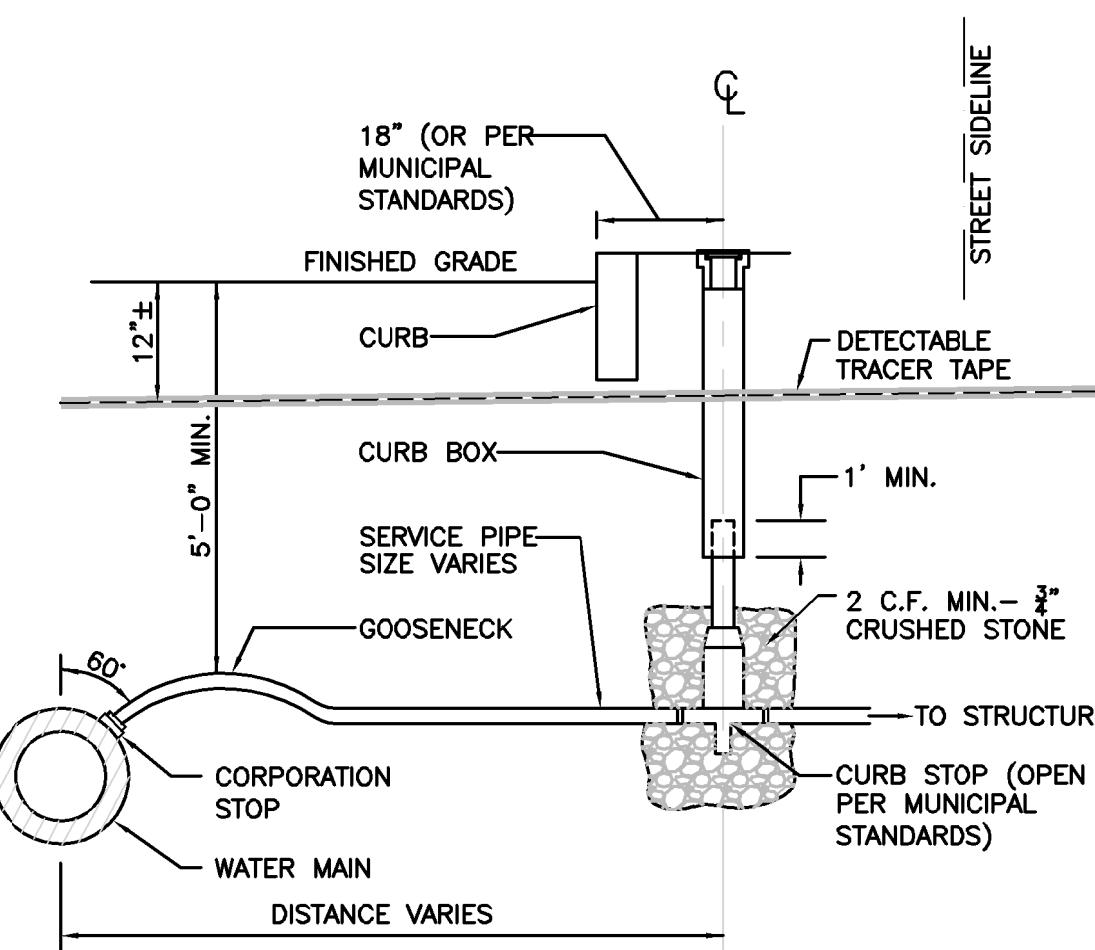
10

- NOTES:
1. ALL HYDRANTS, VALVES AND LOCAL CONNECTIONS SHALL COMPLY WITH THE SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
 2. PIPING TO BE RESTRAINED WITH RODDING OR RETAINING GLANDS.
 3. GATE VALVE INSTALLATION IS TYPICAL FOR ALL GATES SHOWN ON THE DRAWINGS.



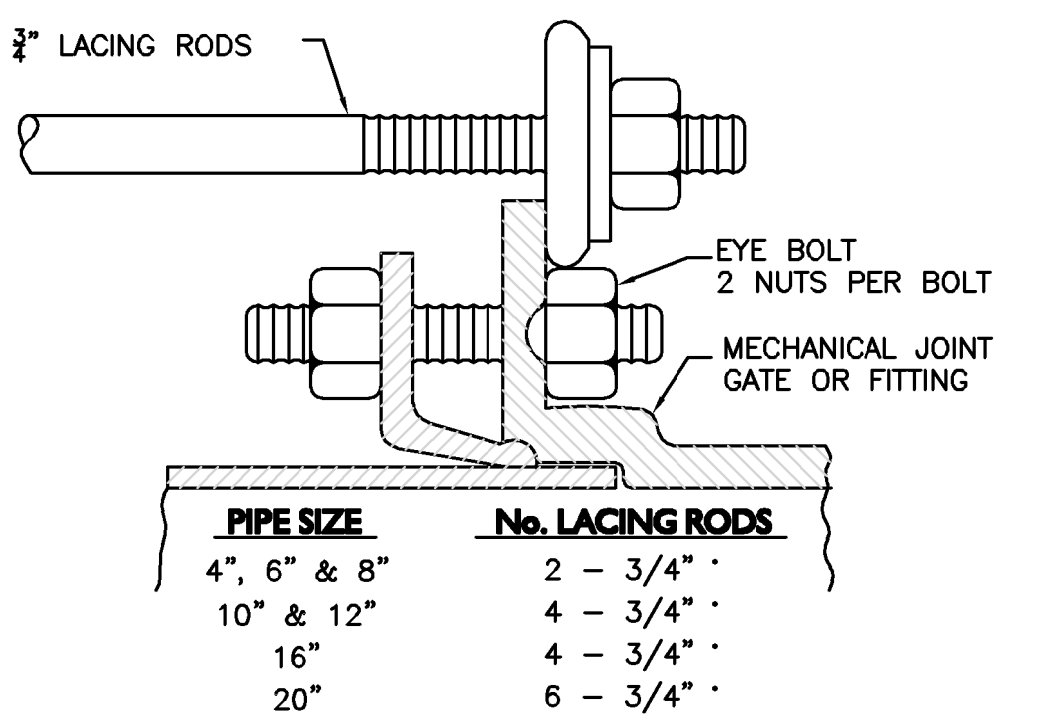
THRUST BLOCK DETAILS
NOT TO SCALE

11



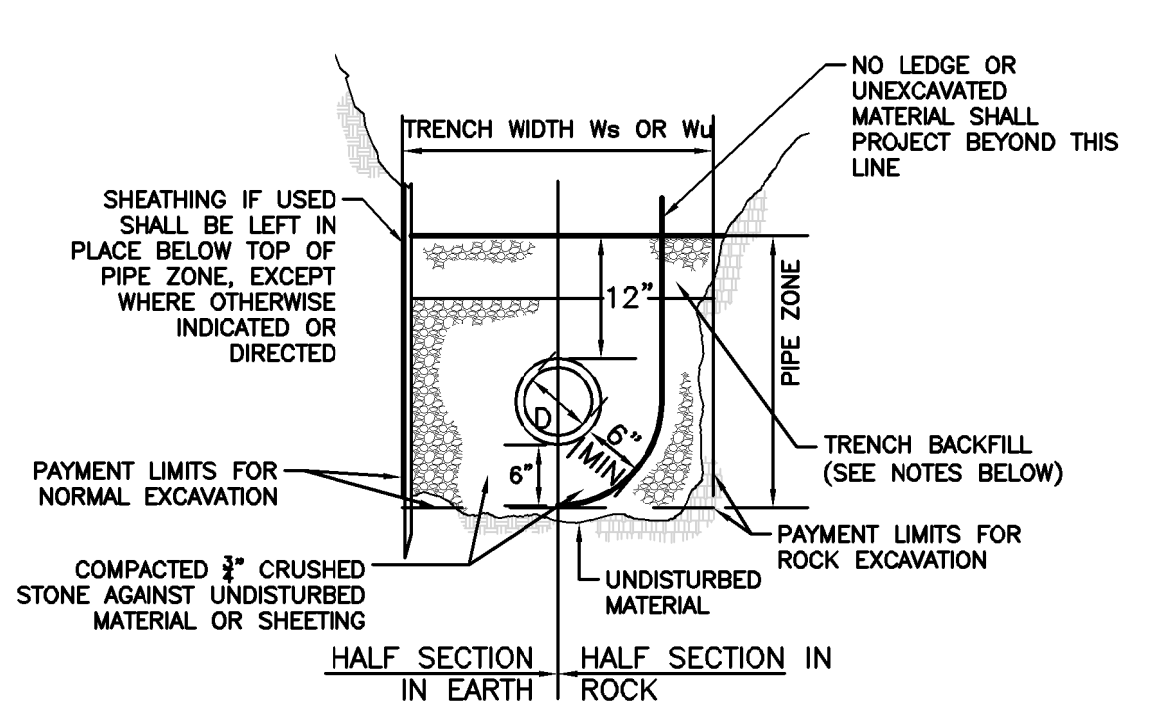
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

12



MECHANICAL JOINT LACING DETAIL
NOT TO SCALE

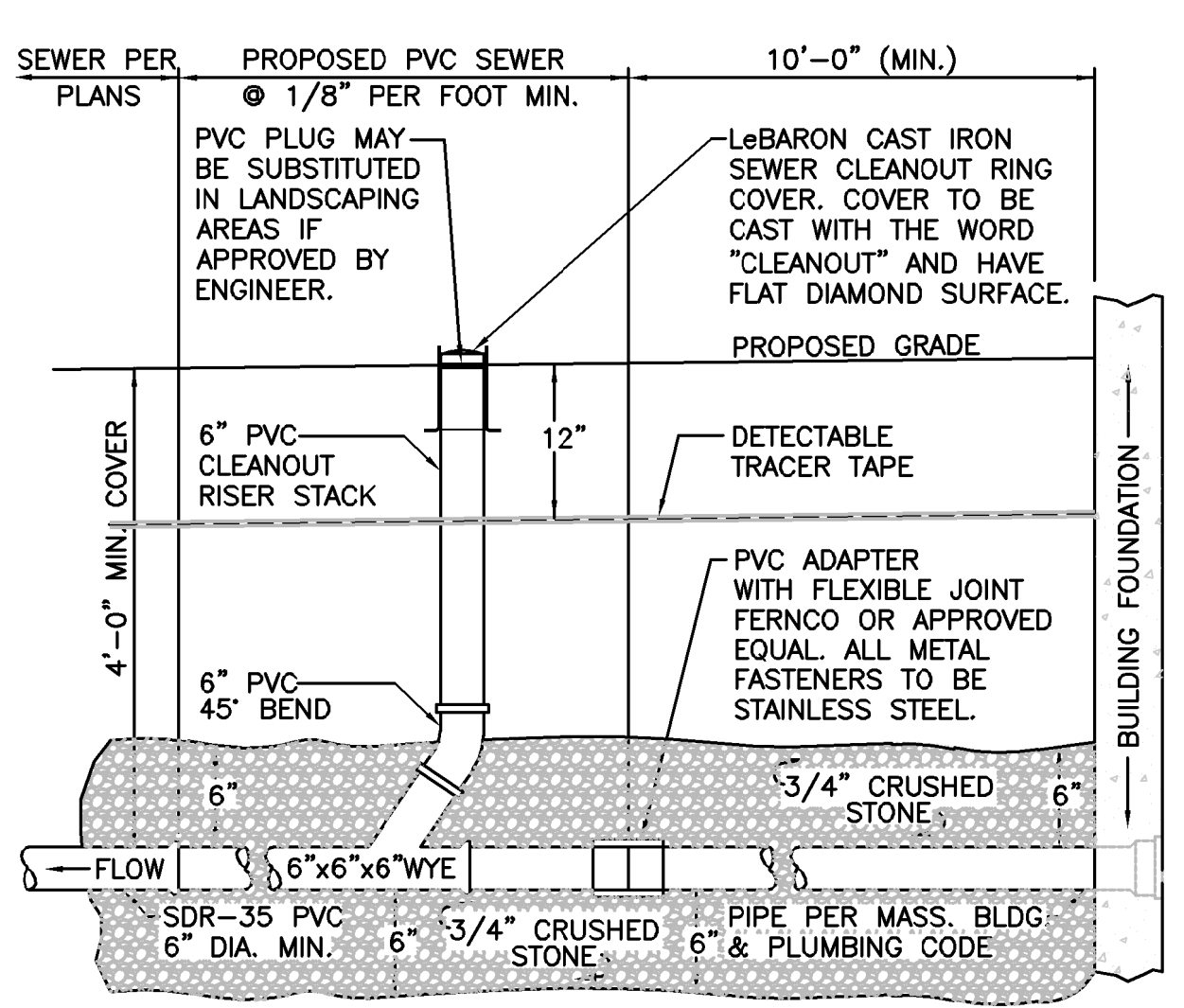
13



SEWER TRENCH
NOT TO SCALE

14

- NOTES:
1. TRENCH BACKFILL TO BE USED WITHIN THE RIGHT-OF-WAY SHALL CONSIST OF EITHER GRAVEL BORROW MEETING MHD SPECIFICATION M1.03.0, TYPE "B" OR PROCESSED GRAVEL BORROW FOR SUBBASE MEETING MHD SPECIFICATION M1.03.1.
 2. WHERE THE REMOVAL OF 100 SQUARE FEET OR LESS OF ASPHALT IS REQUIRED WITHIN THE RIGHT OF WAY, THEN THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL MEETING MHD SPECIFICATION M4.08.0, TYPE "1E" OR "2E".
 3. TRENCH BACKFILL MATERIAL TO BE USED OF THE RIGHT-OF-WAY MAY CONSIST OF MATERIAL GENERATED DURING EXCAVATIONS PROVIDED ALL STONES GREATER THAN 4" ARE REMOVED PRIOR TO PLACEMENT AND COMPACTION
 4. GRANULAR TRENCH BACKFILL MATERIAL USED WITHIN THE RIGHT-OF-WAY SHALL BE PLACED IN MAXIMUM 6" LIFTS AND MECHANICALLY COMPACTIONED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AND TO 80% ELSEWHERE AS DETERMINED BY ASTM D 1557.



BUILDING SEWER SERVICE
NOT TO SCALE

15

PRELIMINARY LIST OF PERMITS & WAIVERS

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NORTHBOROUGH PERMITS:

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- ORDER OF CONDITIONS (NO)
- EARTH REMOVAL PERMIT
- DESIGN REVIEW COMMITTEE APPROVAL

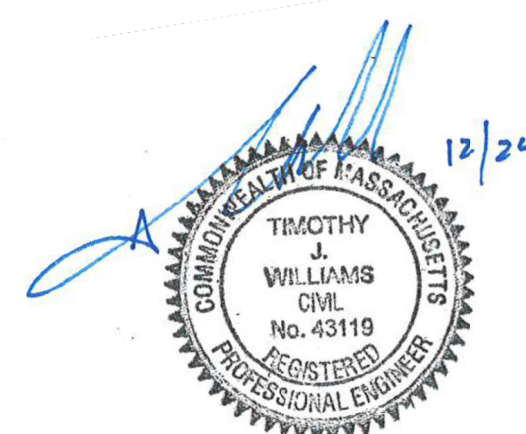
NORTHBOROUGH WAIVERS:

- TBD

TOWN OF NORTHBOROUGH, MA
PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE	DATE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

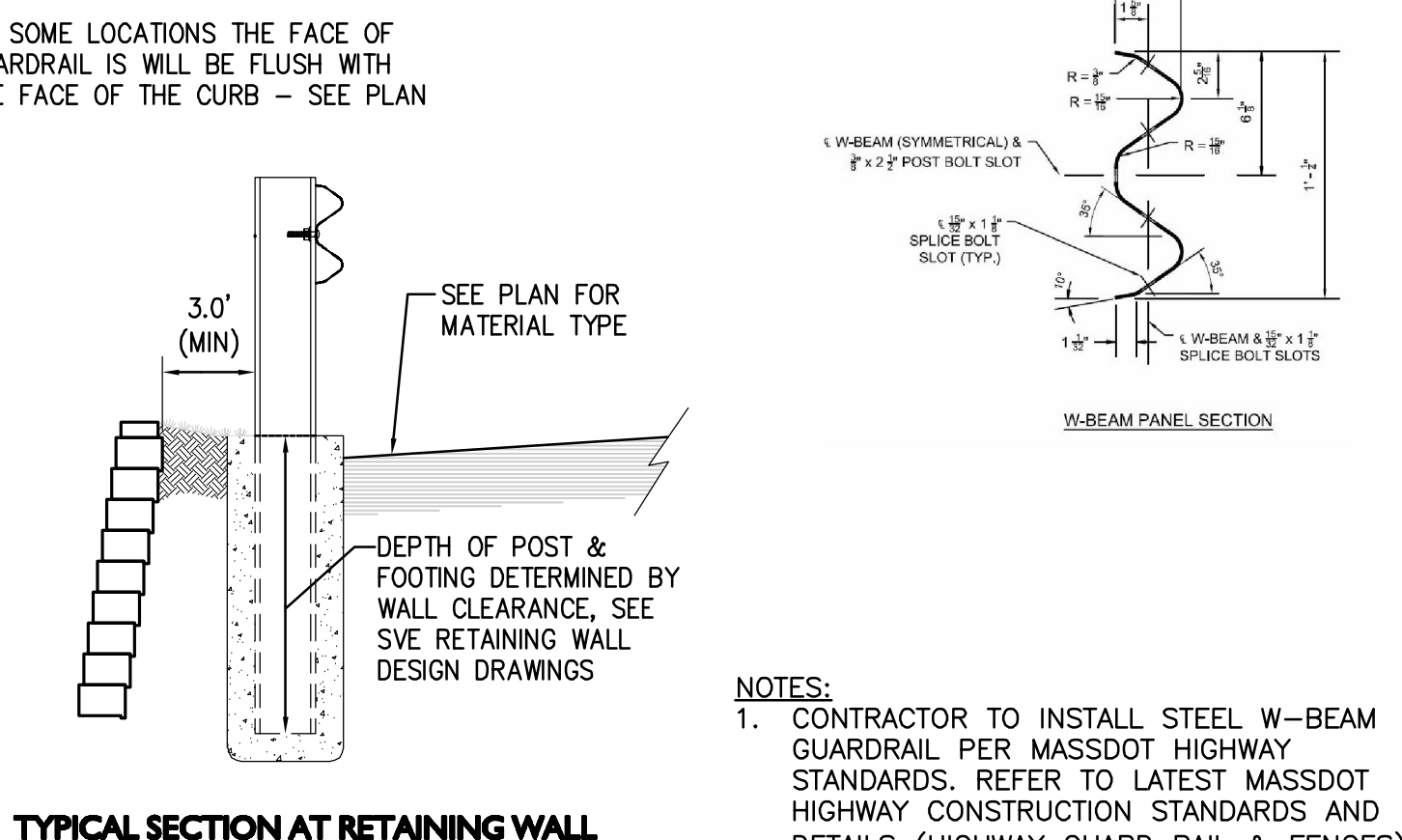
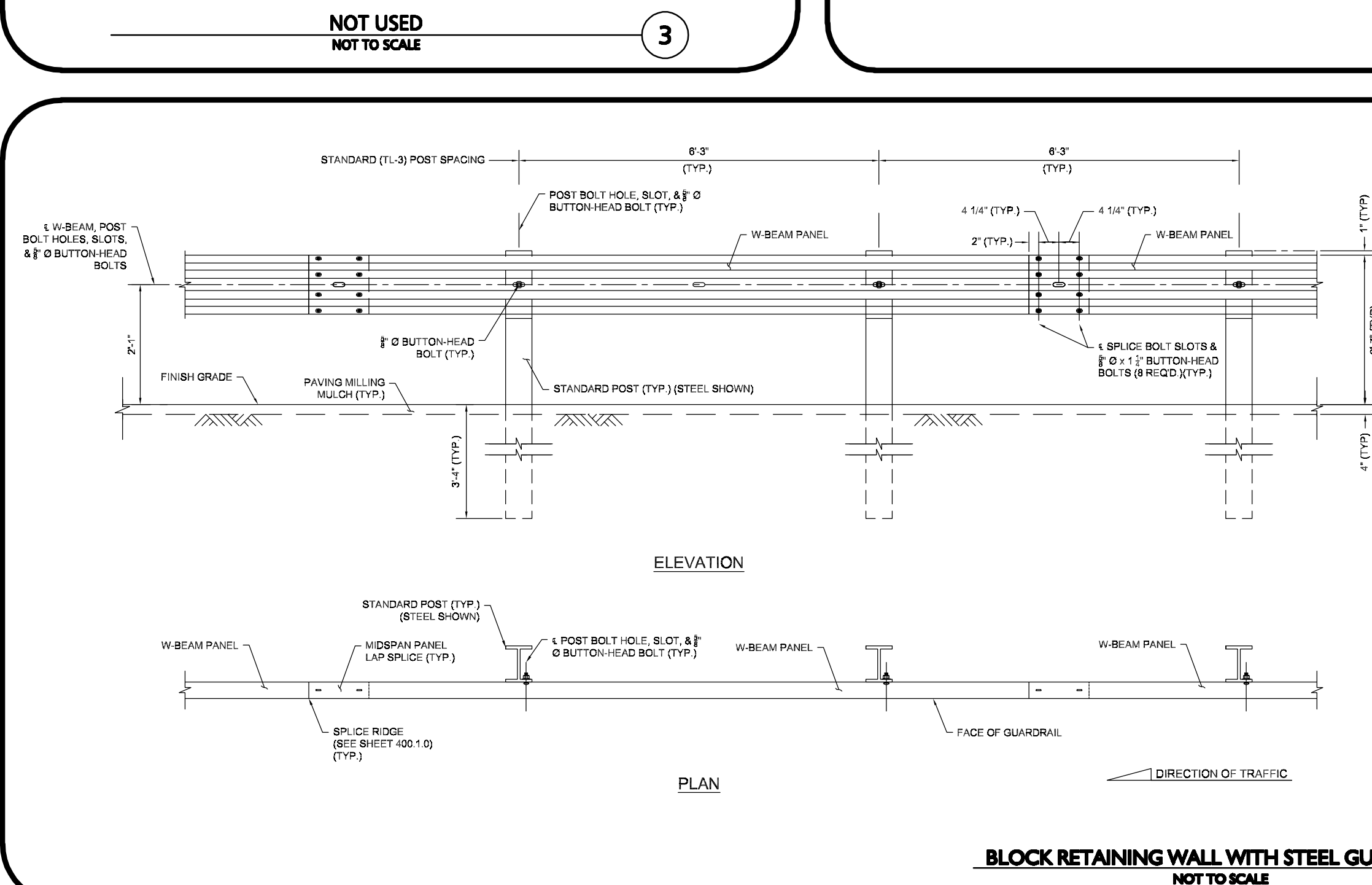
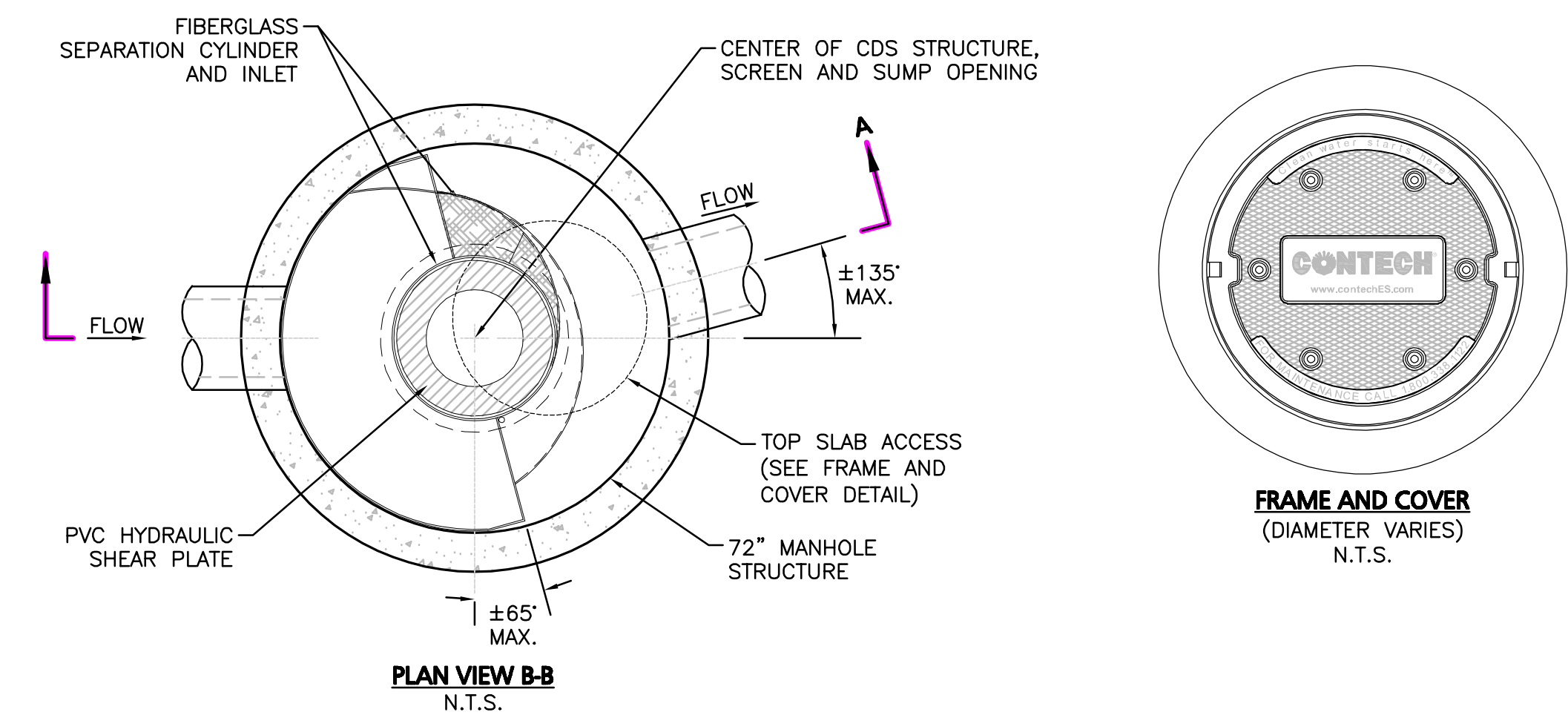
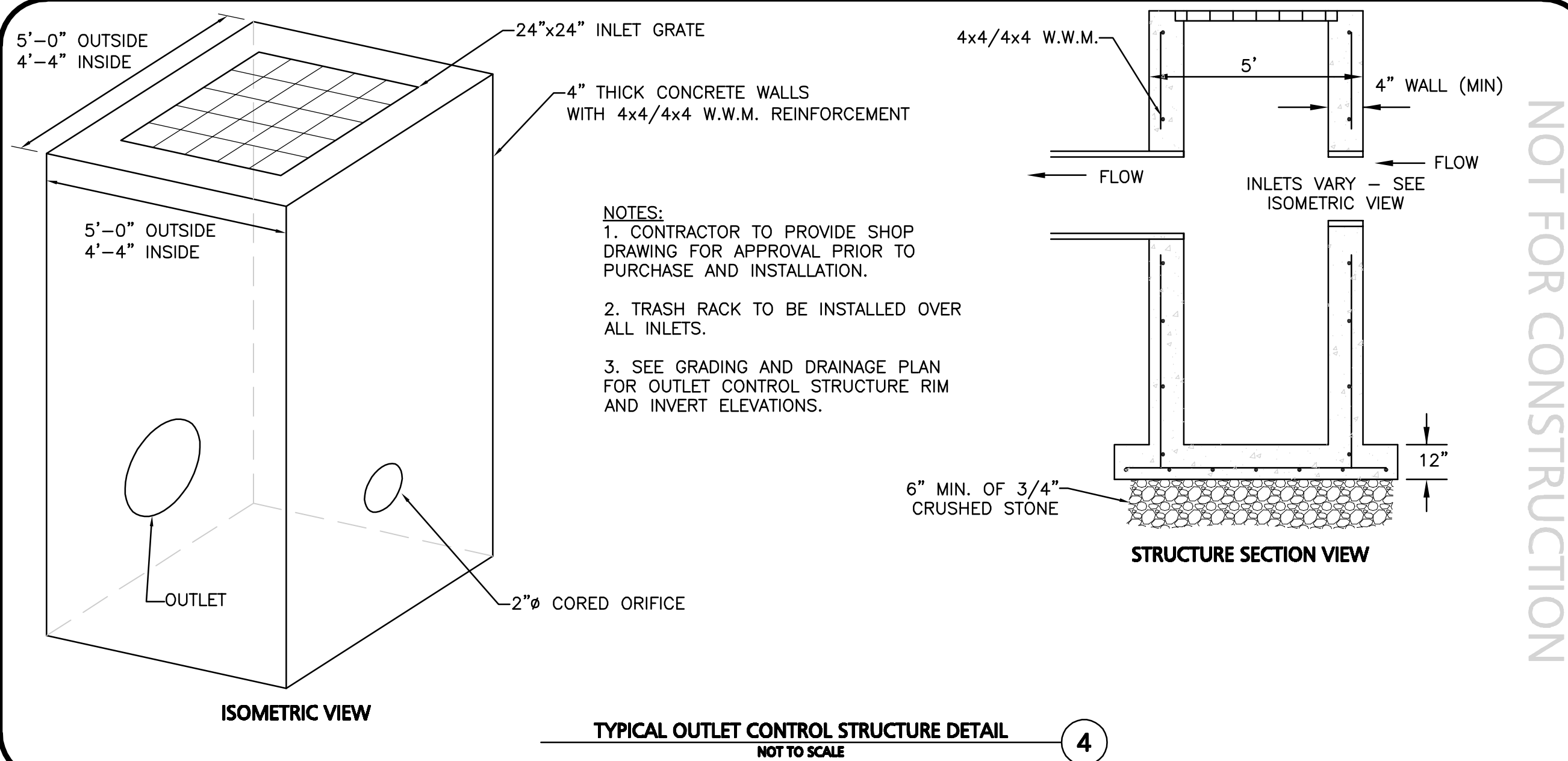
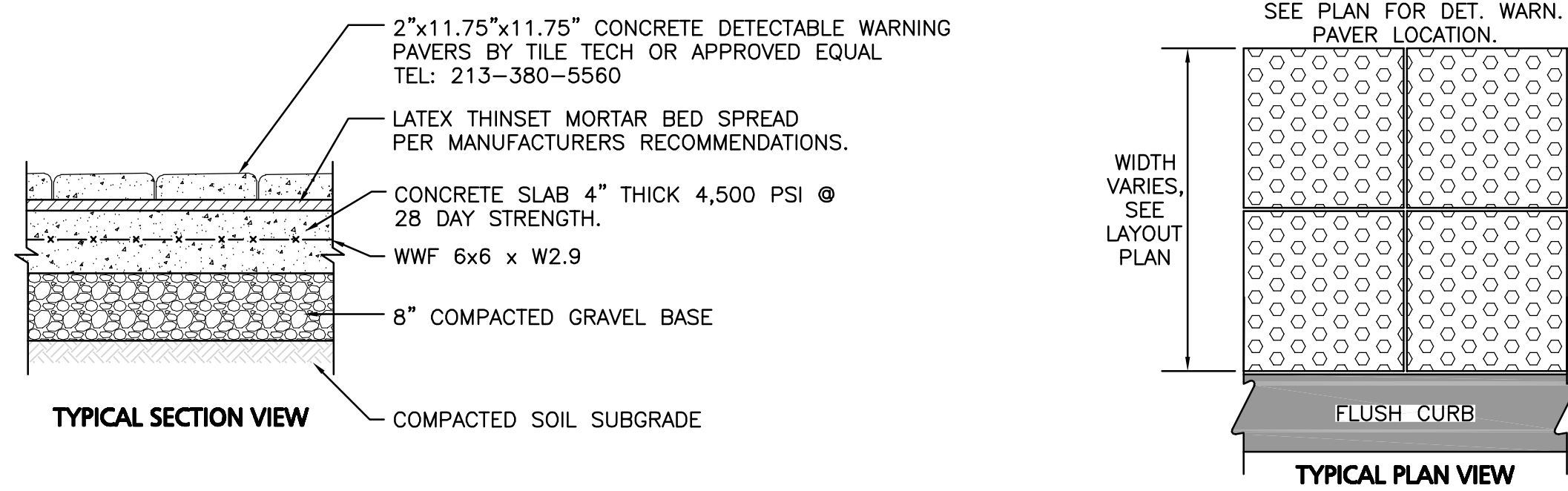
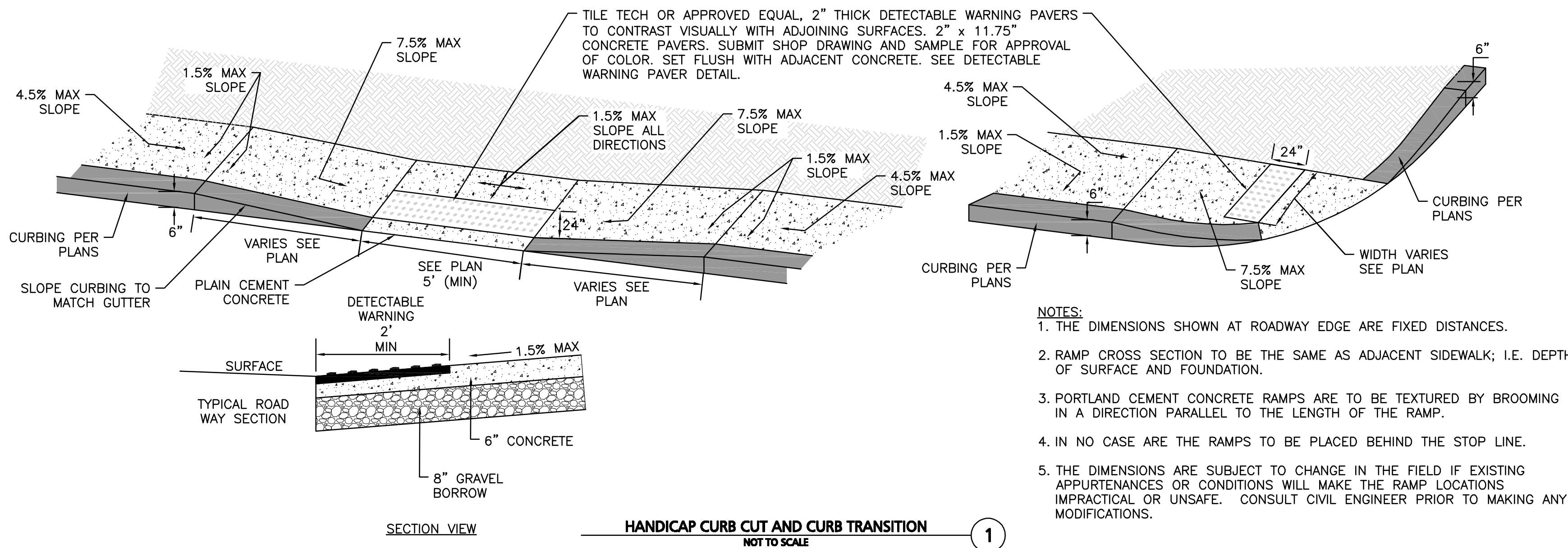
PROJECT:
PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-12-24
SCALE: AS SHOWN DWG. NAME: C-1145-09
DESIGNED BY: DMR CHECKED BY: CMQ



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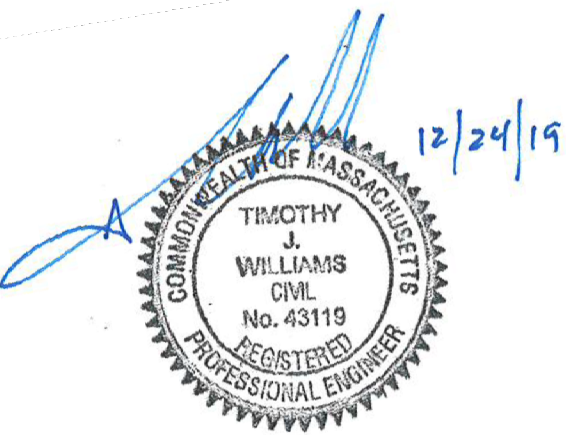
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- SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)
 - ORDER OF CONDITIONS (NOI)
 - EARTH REMOVAL PERMIT
 - DESIGN REVIEW COMMITTEE APPROVAL
- NORTHBOROUGH WAIVERS:**
- TBD

TOWN OF NORTHBOROUGH, MA PLANNING BOARD SITE PLAN APPROVAL

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE _____ DATE _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3 &
MAP 66 LOT 16
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-12-24

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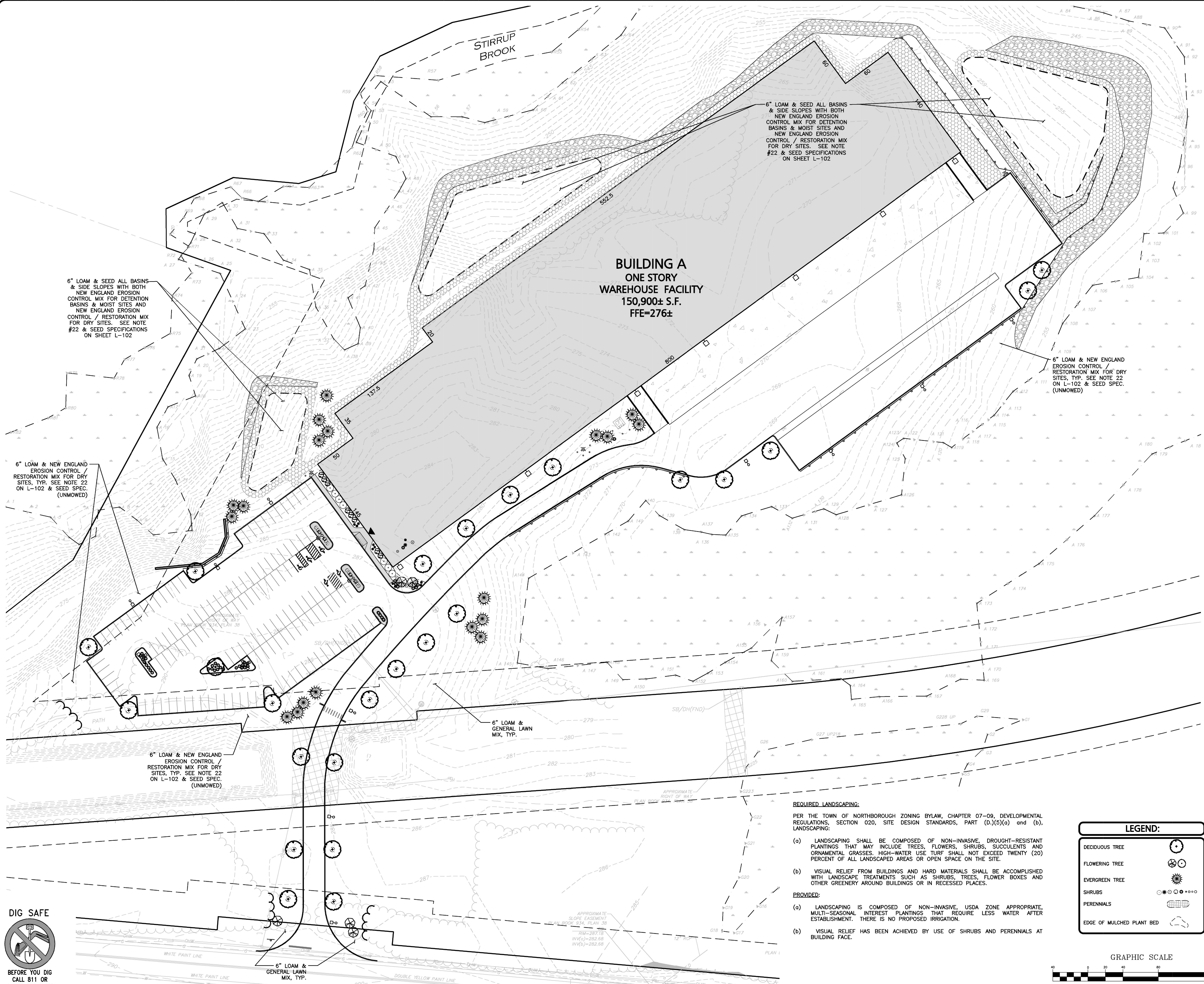
DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:
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environmental consulting • landscape architecture
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FAX: (781) 935-2896
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REQUIRED LANDSCAPING:

PER THE TOWN OF NORTHBOROUGH ZONING BYLAW, CHAPTER 07-09, DEVELOPMENTAL REGULATIONS, SECTION 020, SITE DESIGN STANDARDS, PART (D)(5)(a) and (b), LANDSCAPING:

- (a) LANDSCAPING SHALL BE COMPOSED OF NON-INVASIVE, DROUGHT-RESISTANT PLANTINGS THAT MAY INCLUDE TREES, FLOWERS, SHRUBS, SUCCULENTS AND ORNAMENTAL GRASSES. HIGH-WATER USE TURF SHALL NOT EXCEED TWENTY (20) PERCENT OF ALL LANDSCAPED AREAS OR OPEN SPACE ON THE SITE.
- (b) VISUAL RELIEF FROM BUILDINGS AND HARD MATERIALS SHALL BE ACCOMPLISHED WITH LANDSCAPE TREATMENTS SUCH AS SHRUBS, TREES, FLOWER BOXES AND OTHER GREENERY AROUND BUILDINGS OR IN RECESSED PLACES.

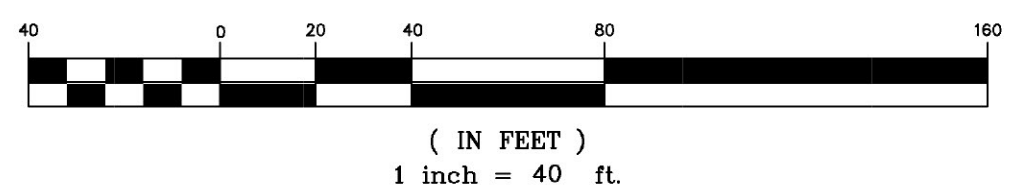
PROVIDED:

- (a) LANDSCAPING IS COMPOSED OF NON-INVASIVE, USDA ZONE APPROPRIATE, MULTI-SEASONAL INTEREST PLANTINGS THAT REQUIRE LESS WATER AFTER ESTABLISHMENT. THERE IS NO PROPOSED IRRIGATION.
- (b) VISUAL RELIEF HAS BEEN ACHIEVED BY USE OF SHRUBS AND PERENNIALS AT BUILDING FACE.

LEGEND:

- DECIDUOUS TREE: (Symbol)
- FLOWERING TREE: (Symbol)
- EVERGREEN TREE: (Symbol)
- SHRUBS: (Symbol)
- PERENNIALS: (Symbol)
- EDGE OF MULCHED PLANT BED: (Symbol)

GRAPHIC SCALE



PRELIMINARY LIST OF PERMITS & WAIVERS

THE PROPOSED PROJECT IS A DISTRIBUTION WAREHOUSE DEVELOPMENT. THE FOLLOWING IS A PRELIMINARY LIST OF REQUIRED PERMITS AND WAIVERS SOUGHT. AS THE DEVELOPMENT PROGRESSES, ADDITIONAL WAIVERS AND PERMITS MAY BE ADDED.

THE APPLICANT ANTICIPATES THE FOLLOWING PERMITS SHALL BE REQUIRED:

NORTHBOROUGH PERMITS:

- SITE PLAN APPROVAL WITH SPECIAL PERMIT FOR GWOPD (PLANNING BOARD)
- ORDER OF CONDITIONS (NO)
- EARTH REMOVAL PERMIT
- DESIGN REVIEW COMMITTEE APPROVAL

NORTHBOROUGH WAIVERS:

- TBD

**TOWN OF NORTHBOROUGH, MA
PLANNING BOARD SITE PLAN APPROVAL**

AND SPECIAL PERMIT APPROVAL WITH GWOPD

SIGNATURE	DATE



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:
THE GUTIERREZ COMPANY
200 SUMMIT DRIVE, SUITE 400
BURLINGTON, MA 01803

PROJECT:
PARCEL H DEVELOPMENT
BARTLETT STREET
MAP 51 LOT 3A &
MAP 66 LOT 2B
NORTHBOROUGH, MA

PROJECT NO. 1145-09 DATE: 2019-11-13

SCALE: 1"=40' DWG. NAME: C-1145-09

DESIGNED BY: DMR CHECKED BY: CMQ

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

civil & structural engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com

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WOBBURN, MA • LEXINGTON, MA • MANCHESTER, NH

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DRAWING TITLE:

LANDSCAPE PLAN

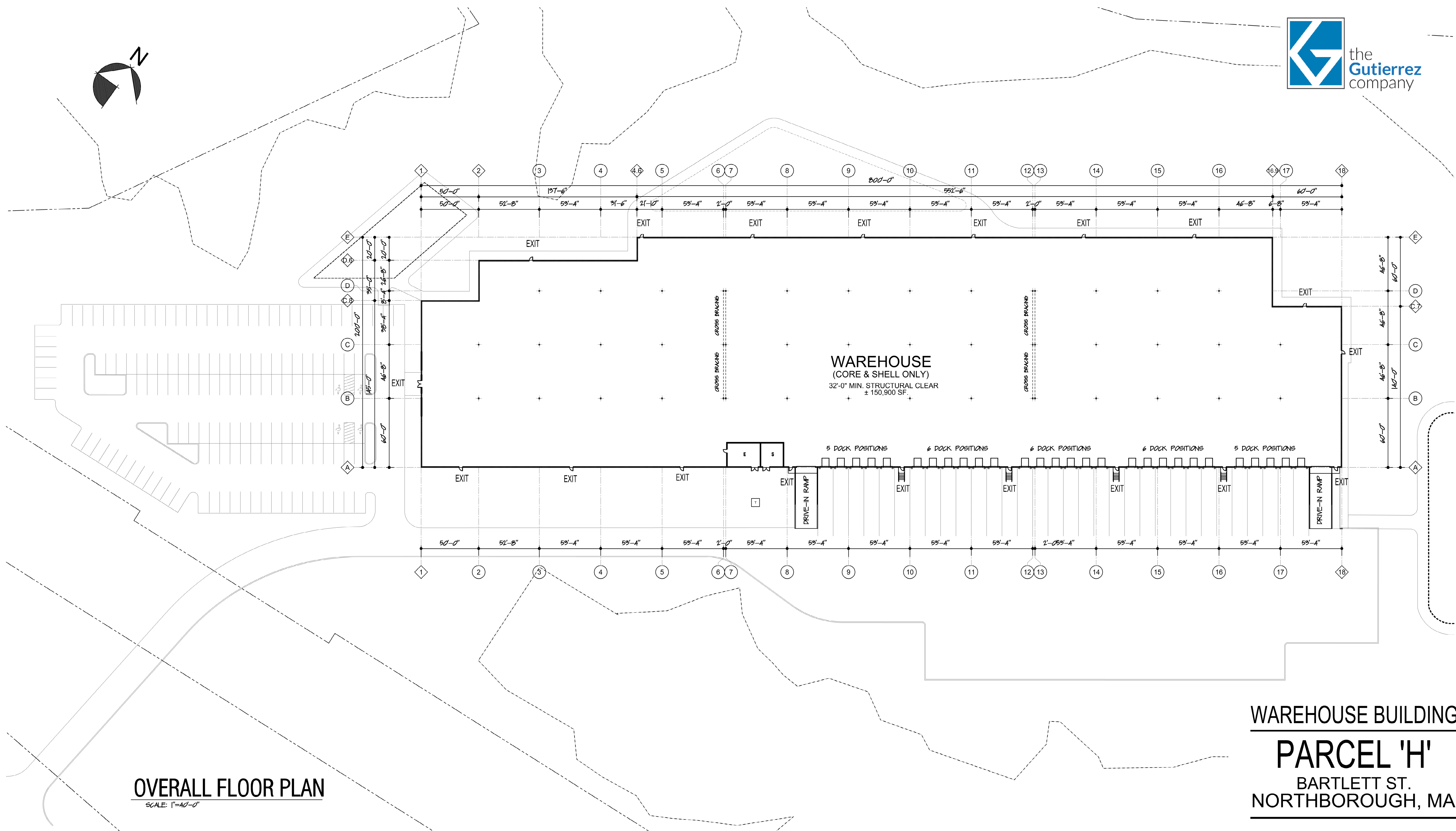
SHEET NO.

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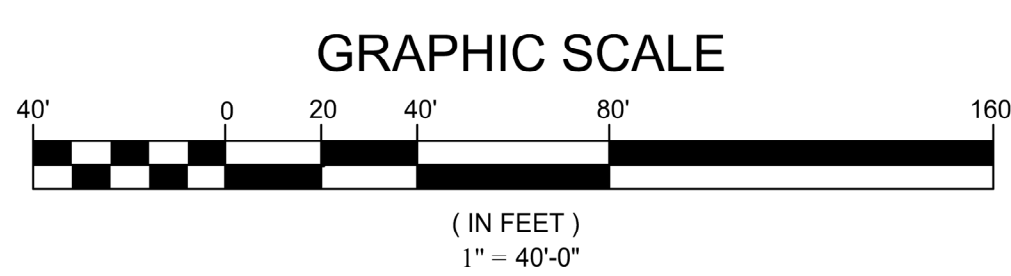
WAREHOUSE BUILDING
PARCEL 'H'
BARTLETT ST.
NORTHBOROUGH, MA
RENDERING

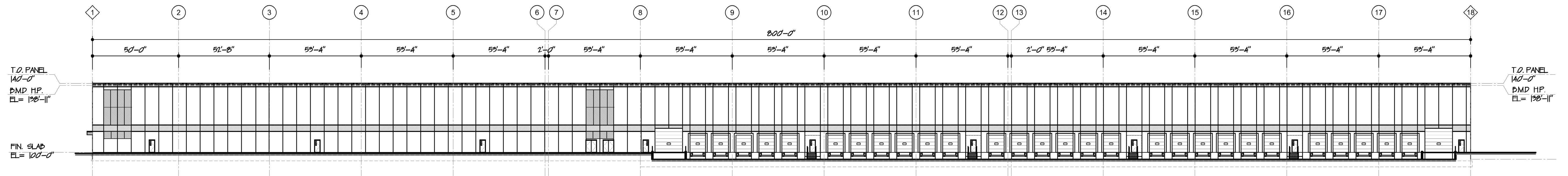


OVERALL FLOOR PLAN
SCALE: 1"=40'-0"

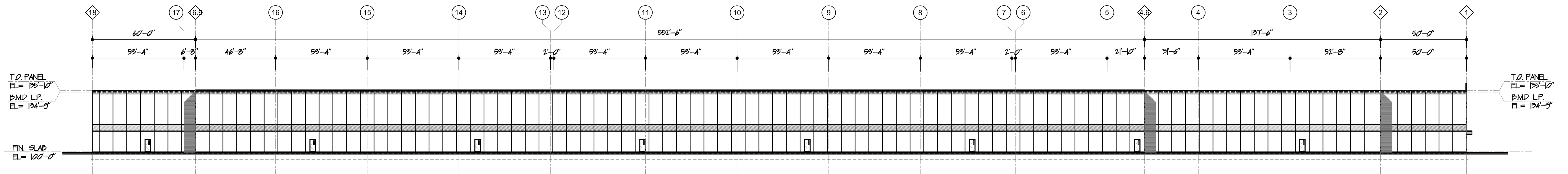
WAREHOUSE BUILDING
PARCEL 'H'
BARTLETT ST.
NORTHBOROUGH, MA

**SCHEMATIC
FLOOR PLAN**

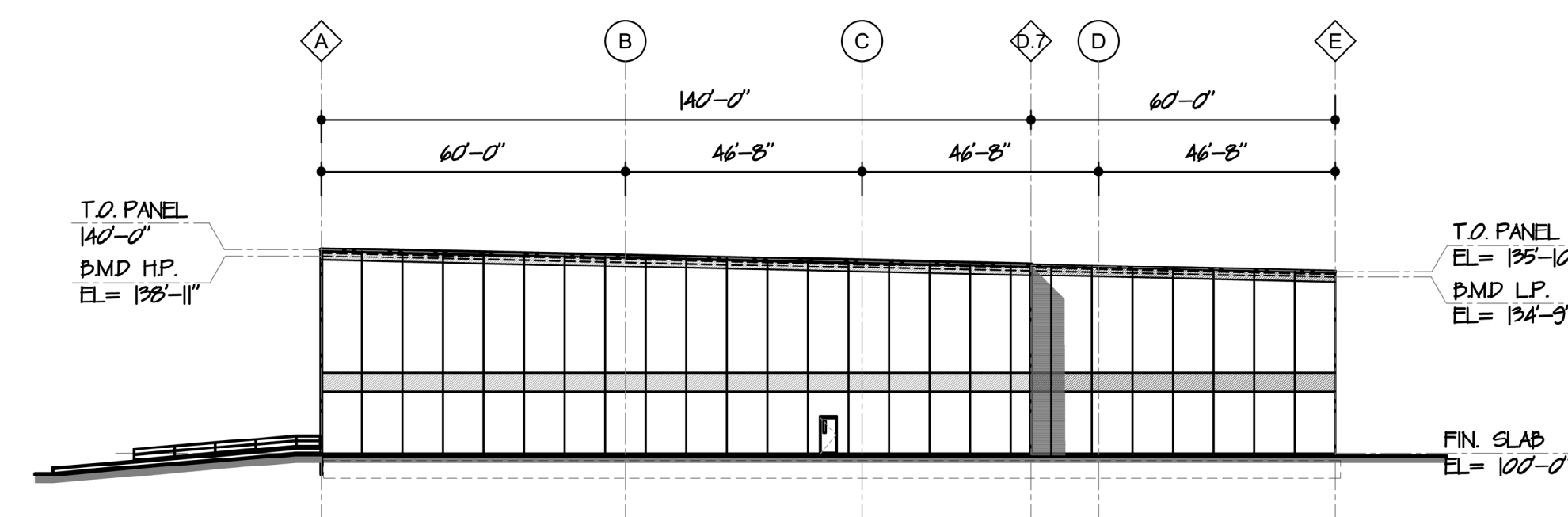




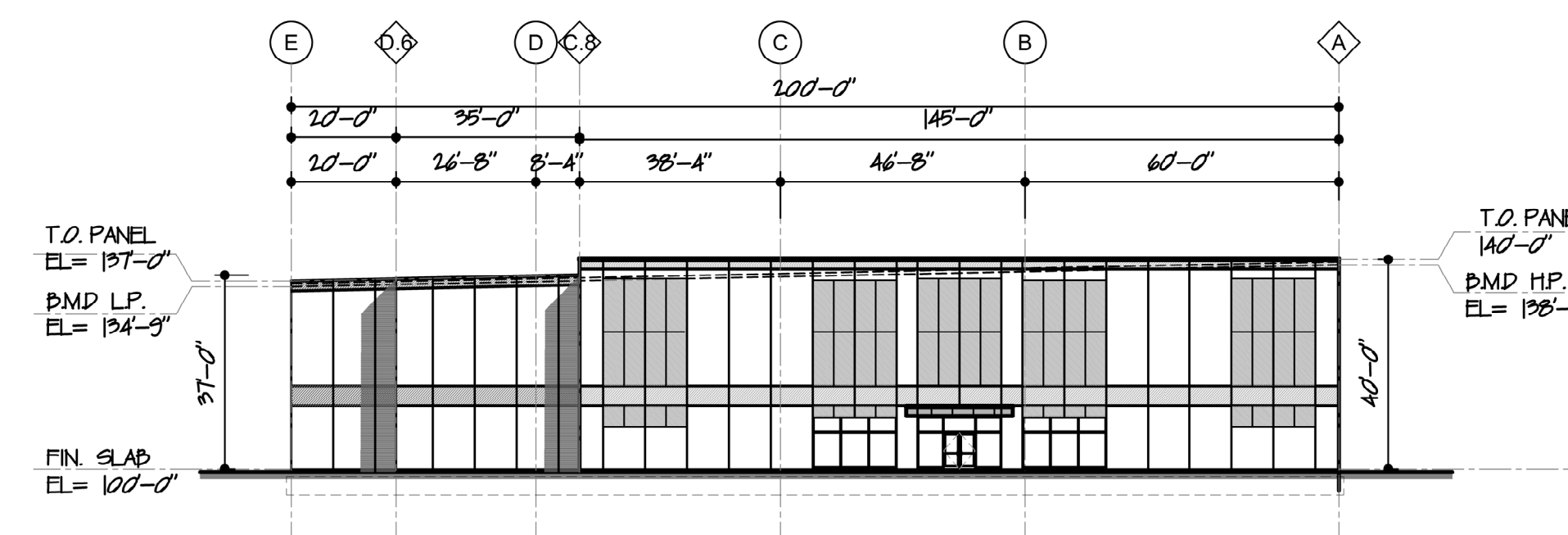
SOUTH ELEVATION (SIDE)
SCALE: 1" = 30'-0"



NORTH ELEVATION (SIDE)
SCALE: 1" = 30'-0"



EAST ELEVATION (REAR)
SCALE: 1" = 30'-0"



WEST ELEVATION (FRONT)
SCALE: 1" = 30'-0"

WAREHOUSE BUILDING
PARCEL 'H'
BARTLETT ST.
NORTHBOROUGH, MA

SCHEMATIC ELEVATIONS

